

CITY OF BLAINE
REQUEST FOR COUNCIL ACTION
MEETING DATE: June 11, 2018

SUBJECT: Ordinance 18-2912, Amending Chapter 17.22 Central Business District and Deleting Elements of Blaine Design Guidelines and Sign Ordinance Supplement

DEPARTMENT: Community Development

PREPARED BY: _____
(Digital Signature)

AGENDA LOCATION: ☐ Consent Agenda ☒ Council Action ☐ Unfinished Business

ATTACHMENTS:

1. Planning Commission Recommendation, including:
 - a. BMC Section for Adoption
 - b. BMC Sections for Repeal
 - c. Design Guidelines and Sign Ordinance for Retention
2. Ordinance 18-2912

BACKGROUND:

Community Development Services has been engaged in a lengthy process to review and modify design requirements for the Central Business District. The process included a rezone and process changes that were adopted in 2015. There have been more than a dozen formal public meetings related to the proposal and several community meetings and open houses.

Going back to 2014, Council and the Commission have both been directly engaged in many of these meetings and at various steps in the process. The second step of the two-step process, new design standards, has received a recommendation from the Planning Commission.

SUMMARY:

1. The proposed ordinance would **slightly modify some permitted uses.**
2. This amendment would **change the design requirements** to be more clearly and specifically defined, and to create **latitude for the Director to allow departures** from the standards.

BUDGET IMPLICATIONS:

There are no budget implications related to this action.

RECOMMENDATION: ☒ Waive the second reading

Staff supports the Commission's recommendation, and therefore Staff recommends Council adopt Ordinance No. 18-2912, adopting new BMC Chapter 17.22 - Central Business District, and repealing sections of the Blaine design guidelines and sign Ordinance supplement.

REVIEWED BY:

City Manager _____ Finance Director _____ City Clerk _____
(Digital Signature) (Digital Signature) (Digital Signature)



PLANNING COMMISSION RECOMMENDATION

SUBJECT: Downtown Development Code Update Part 2

PROPONENT: City of Blaine (City Council)

APPLICATION TYPE(S): Zoning Text Amendment and Zoning Map Amendment

FILE NUMBER(S): ZTA-3-14 and ZMA-1-14

REQUEST: A proposal creating new building and site design standards, and to repeal BMC Chapter 17.22 - Central Business District that is being superseded.

LOCATION: The area or effect is the Central Business District. Specifically the areas currently zoned CB-M, CB-TP, CB-WV, and CB-G.

SUBMITTED BY: Planning Commission

RECOMMENDATION: **The Planning Commission recommends approval of the subject proposal based on findings of fact and conclusions of law contained herein.**

PREPARED BY: Michael Jones, Community Development Director

ATTACHMENTS:

- A. BMC Section 17.22 Proposed for Adoption
- B. BMC Section 17.22 Proposed for Repeal
- C. Blaine Design Guidelines and Sign Ordinance Supplement pages Proposed for Retention

NOTE: The materials that constitute the official record are on file with the Community Development Services Department and may be reviewed upon request.

SUMMARY

This is a recommendation of approval by the Planning Commission for the City Council's consideration. This action would adopt a revision to the City's zoning code which includes the creation of new building and site design standards. The action also repeals most remaining sections of the Blaine Design Guidelines and Sign Ordinance Supplement. The section of the Blaine Design Guidelines and Sign Ordinance Supplement remains in effect.

Notable aspects of the zoning text revision are as follows:

- The area where mail handling and shipping businesses is permitted becomes smaller. They would not be permitted in the CB-Waterview subdistrict (west of Peace Portal Drive) or in the CB-Garden district (adjacent to the Salishan neighborhood).

- Building design regulations are substantially updated from those in place today. The current standards, adopted in 1999 provide limited guidance and give undue attention to certain specific items while leaving broad topics unaddressed.
- The design review process remains unchanged and continues to vest authority in the Director to allow exceptions to design requirements known as “departures.” This allows for flexibility in the design oversight process.

Details of the proposed amendments are contained in the attachments, and are available in the public record.

PROCEDURAL INFORMATION

The Community Development Services Department along with the Planning Commission has been conducting an extensive effort to revise the development standards for the Central Business District for a period of years. This effort involved a series of community meetings, a community open house, a joint study session with the City Council and the Planning Commission, a public hearing at the Planning Commission and numerous public meetings and work sessions at the Planning Commission. We hosted a session where the Commission heard from a local architect. We worked with an architectural consultant to develop preliminary design guidelines. Ultimately, we hired a different consultant, MAKERS Architecture, to develop the final design standards that are proposed.

During the process, the City Council adopted Resolution 1613-12 initiating code amendments regarding building height limits, residential uses, and the major development review process. In 2014, the City repealed the major development review process, simplifying the permit process. In 2015, the City Council adopted changes to building heights, revised the mix of commercial uses, and added residential uses in the Central Business District. Updated design standards are the final step in this process.

The Planning Commission has reviewed the existing mix of uses and the proposed uses permitted in the zoning code. The Commission recommends minor changes to the mix of uses, in particular a reduction of the area where mail handling/shipping businesses are permitted.

The Commission considered the existing design standards, the Blaine Design Guidelines and Sign Ordinance Supplement. The Commission considered the existing character and design of the downtown, and the desired future condition. Based on the review, and a lengthy public process, the Commission proposes amendments to the design requirements. Specifically, the Commission recommends rescinding most of the Blaine Design Guidelines and Sign Ordinance Supplement and adopting integrated design standards contained in the proposed BMC 17.22 (Attachment A).

The required public notification for a Zoning Text Amendment has been completed pursuant to BMC 17.04.060. The Planning Commission conducted a public hearing on August 14, 2014, which was continued to August 28, 2014 and then held five public meetings from September through November 2014 to deliberate the proposal and finalize a recommendation to City Council. The SEPA Official distributed a SEPA Checklist for agency and public review. Thereafter, the SEPA Official issued a determination of Non-Significance on August 1, 2014. A community open house was held on July 17, 2014. More recently, additional public meetings were held, and a public hearing was conducted on March 22, 2018 and April 9, 2018 to take input on the final proposed design standards.

The City Council makes the final decision on Zoning Text Amendments based on a recommendation from the Planning Commission pursuant to BMC 17.04.050.

FINDINGS OF FACT and CONCLUSIONS

1. The Community Development Services Department held a series of community engagement meetings in May and June of 2011 exploring issues regarding downtown development and alternatives to address the challenges faced. Specifically, the meetings tried to answer the question “How can zoning and land use regulation be changed to help achieve the vision of a dynamic, interesting, economically thriving downtown?”
2. City Council and Planning Commission held a joint study session on January 6, 2014 and identified downtown redevelopment and revisions to the downtown development code to be a priority issue for the City.
3. The SEPA Official issued a Determination of Non-Significance on August 1, 2014.
4. Blaine City Council adopted Ordinance 16-2882 in June 2016 implementing Blaine 2036 – City of Blaine Comprehensive Plan, which supports the growth and redevelopment of the central business district.
5. Planning Commission held numerous study sessions to review proposals and to advise staff to modify the amendments to best suit the goals of the City Comprehensive Plan.
6. Planning Commission held a public hearing on March 22, 2018 and held the record open until April 9, 2018 to receive input on the proposed land use and development code amendments.
7. Rescinding parts of the Blaine Design Guidelines and Sign Ordinance Supplement, and adopting new development regulations that oversee building and site design will support a dynamic, pedestrian-friendly, and economically active commercial core.
8. Retaining the sections of the Blaine Design Guidelines and Sign Ordinance Supplement that relates to the Central Business- Wharf District is necessary to oversee building and site design withi the district.

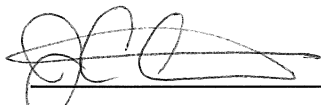
RECOMMENDATION

The Planning Commission recommends approval of ZTA-3-14 and ZMA-1-14 adopting revised Municipal Code Section 17.22, as included in Attachment A, and further rescinding existing Municipal Code Section 17.22, and the Blaine Design Guidelines and Sign Ordinance Supplement except pages 23 through 28 relating to the Central Business-Wharf District, based on findings of fact and conclusions of law.

PLANNING COMMISSION ACTION:

☒ Approval Recommended ☐ Denial Recommended ☐ Other:

Signed


Chairperson

3/24/18

Date

Chapter 17.22 Central Business Zoning District

- 17.22.010 Subdistricts-Purpose
- 17.22.020 Uses
- 17.22.025 Conditional uses in the Garden 36 and Garden 48 districts
- 17.22.030 Market subdistrict standards
- 17.22.040 Town portal subdistrict standards
- 17.22.050 Waterview subdistrict standards
- 17.22.060 Garden subdistrict standards
- 17.22.070 Block frontage standards
- 17.22.080 Building design standards
- 17.22.090 Boardwalk development and connections
- 17.22.100 Conditional uses in the Garden 36 and Garden 48 districts
- 17.22.110 Drive-through facilities
- 17.22.120 Chain link fences
- 17.22.130 Mobile food services
- 17.22.140 Use of public right-of-way
- 17.22.150 Utilities
- 17.22.160 Lighting
- 17.22.170 Parking requirements
- 17.22.180 Definitions

17.22.010 Subdistricts-Purpose.

The Central Business District consists of five subdistricts. The Market, Town Portal, Waterview and Garden subdistricts are regulated herein. The subdistricts are established to respond to the varying needs across the downtown core. The fifth subdistrict, Central Business-Wharf is regulated elsewhere in this chapter.

- A. The purpose of the Central Business-Market subdistrict is to provide a commercial core to the downtown that allows a wide range of retail, service, municipal and tourism-related uses, that includes residential uses that do not occupy street level, street fronting space.
- B. The purpose of the Central Business-Waterview subdistrict is to provide a commercial core to the downtown that allows a wide range of retail and service uses that focus on entertainment and includes residential uses that do not occupy street level, street fronting space.
- C. The purpose of the Central Business-Town Portal subdistrict is to provide a dense residential area within the downtown that allows appropriate retail, service, municipal and tourism-related uses that accent the residential setting.
- D. The purpose of the Central Business-Garden subdistrict is to provide a residentially focused transition area between downtown and the adjacent single-family zones that allows a limited

range of retail, service, and municipal uses that are generally lower impact than others allowed in the rest of the central business district.

17.22.020 Uses.

Uses in the Market, Town Portal, Waterview and Garden subdistricts shall be regulated by Table 17.22.A. Non-listed uses may be considered under BCM 17.92 – Conditional Uses.

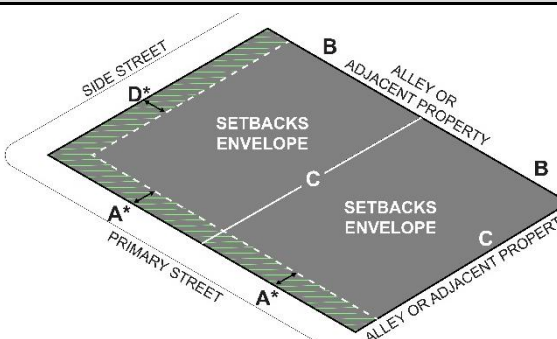
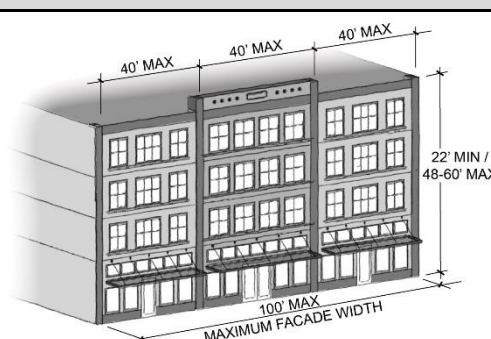
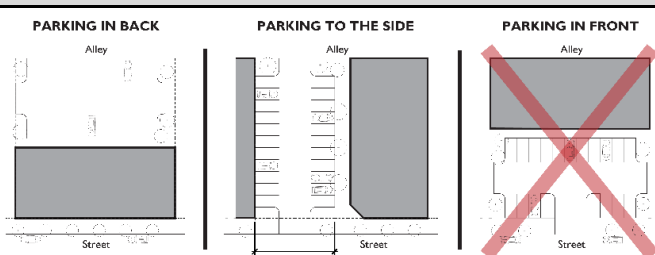
Table 17.22.A	M	TP	WV	G
P=Permitted C=Conditional N=Not Permitted				
Single Family Residence	N	N	N	P
Multi-Family Residence: Occupying Non-Street Level Frontage	P	P	P	P
Multi-Family Residence: Occupying Street Level Frontage	N	P	N	P
Personal and Professional Services	P	P	P	P
Eating and Drinking Establishments	P	P	P	C
Retail of New or Used Goods	P	P	P	P
Light Assembly (Products)	C	N	C	N
Art Studio/Gallery	P	P	P	P
Live-Work Spaces	P	P	C	P
Municipal Uses, Public Parking Lots and Parks	P	P	P	C
Assembly and Worship Halls	P	P	C	C
Hotels – w/ or w/o Eating and Drinking Establishments	P	P	P	C
Indoor Recreation and Entertainment	P	C	P	N
Financial Institutions	P	P	C	N
Private Schools	P	P	N	C
Offices	P	P	P	P
Mobile Food Services/Food Trucks	P	P	P	N
Non-Accessory Parking Lots/Garages-Commercial	C	C	N	N
Food or Beverage Production with On-Site Sales	P	C	P	C
Day Care Center, Adult or Child	P	P	C	P
Health Club/Fitness, Dance or other Studio	P	P	C	P
Funeral Home	P	P	C	C
Gas Stations and Auto Repair Shops	N	N	N	N
Mail Handling/Personal Shipping and Receiving	P	C	N	N
Adult Entertainment	N	N	N	N

17.22.025 Conditional uses in the Garden 36 and Garden 48 districts.

The Garden districts are created and specifically reserved for uses which can effectively, and with limited impact, blend with and enhance the residential setting. Consideration shall be given to traffic volumes, noise, hours of operation, odors, and the overall impact of these aspects of a commercial or public use in the districts when Conditional Use Permits are considered. This is in addition to the provisions of BMC Sec. 17.92, Conditional Use Permits.

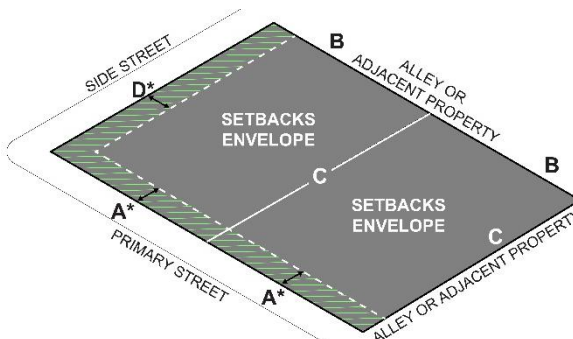
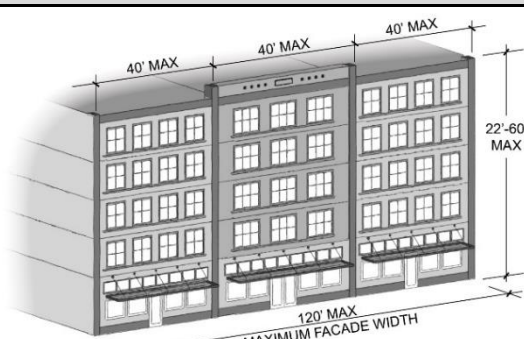
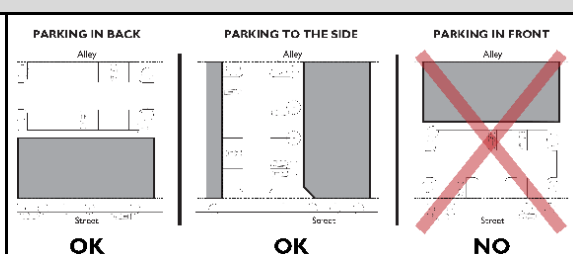
17.22.030 Market subdistrict standards.

Developments in the market subdistrict shall be regulated by Table 17.22.030.

Table 17.22.030 Market Subdistrict Dimensional Standards.		
Element	Standard	Reference
A. Building Placement		
Setbacks (measured to foundation)		 <p>*Front and side street setbacks are based on the applicable block frontage standards set forth in BMC 17.22.070</p> <p>Figure 17.22.030.A</p>
Front (A)	0-10'	
Rear (B)	0'	
Side – interior (C)	0'	
Side - street (D)	0-10'	
B. Building Height & Massing		
Minimum/ Maximum height	22' / 48 or 60'*	 <p>*Maximum height dictated by the Official Zoning Map</p> <p>Figure 17.22.030.B</p>
Façade articulation – max. interval for non-residential uses (see 17.22.080.D.2)	40'	
Maximum façade width (see 17.22.080.D.5)	100'	
C. Lot Standards		
There are no separate standards for minimum lot width or area or minimum or maximum building coverage. It is intended to let the block frontage, parking, and building design standards and property owner preferences dictate the design of lots and buildings.		
D. Surface Parking Location		
Surface parking areas may be located to the side or rear of buildings provided no more than 62' of street frontage is occupied by parking and vehicle access areas. Surface parking areas located between a building façade and the street are prohibited.		 <p>OK OK NO</p> <p>Figure 17.22.030.D</p>

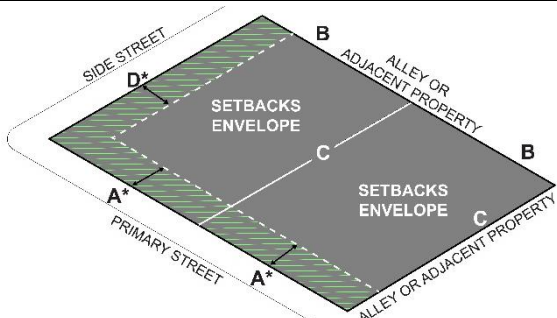
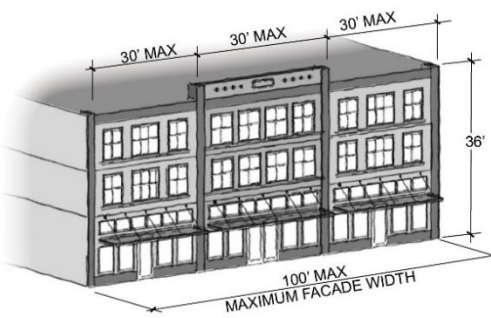
17.22.040 Town portal subdistrict standards.

Developments in the town portal subdistrict shall be regulated by Table 17.22.040.

Table 17.22.040		
Town portal subdistrict dimensional standards.		
Element	Standard	Reference
A. Building Placement		
Setbacks (measured to foundation)		
Front (A)	0-10'	 <p>*Front and side street setbacks are based on the applicable block frontage standards set forth in BMC 17.22.070</p> <p>Figure 17.22.040.A</p>
Rear (B)	0'	
Side – interior (C)	0'	
Side - street (D)	0-10'	
B. Building Height & Massing		
Minimum/ maximum height	22'/ 60'	 <p>Figure 17.22.040.B</p>
Façade articulation – max. interval for non-residential uses (see 17.22.080.D.2)	40'	
Maximum façade width (see 17.22.080.D.5)	120'	
C. Lot Standards		
There are no separate standards for minimum lot width or area or minimum or maximum building coverage. It is intended to let the block frontage, parking, and building design standards and property owner preferences dictate the design of lots and buildings.		
D. Surface Parking Location		
Surface parking areas may be located to the side or rear of buildings. Parking areas located between a building facade and the street are prohibited.	 <p>Figure 17.22.040.D</p>	

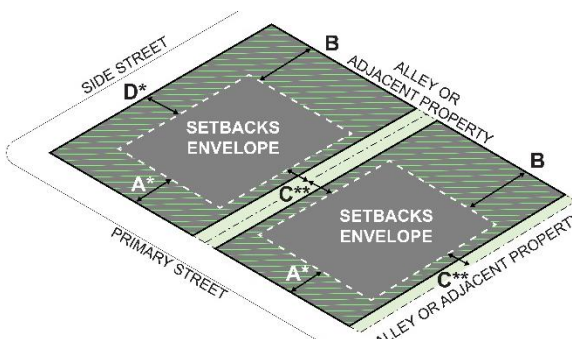
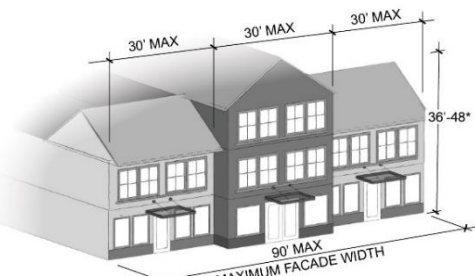
17.22.050 Waterview subdistrict standards.

Developments in the waterview subdistrict shall be regulated by Table 17.22.050.

Table 17.22.050		
Waterview subdistrict dimensional standards.		
Element	Standard	Reference
A. Building Placement		
Setbacks (measured to foundation)		
Front (A)	0-15'	 <p>*Front and side street setbacks are based on the applicable block frontage standards set forth in BMC 17.22.070 Figure 17.22.050.A</p>
Rear (B)	0'	
Side – interior (C)	0'	
Side - street (D)	0-15'	
B. Building Height & Massing		
Maximum height	36'	 <p>Figure 17.22.050.B</p>
Façade articulation – max. interval for non-residential uses (see 17.22.080.D.2)	30'	
Maximum façade width (see 17.22.080.D.5)	100'	
C. Lot Standards		
There are no separate standards for minimum lot width or area or minimum or maximum building coverage. It is intended to let the block frontage, parking, and building design standards and property owner preferences dictate the design of lots and buildings.		
D. Surface Parking Location		
Parking location standards vary based on the designation of the fronting street (see Figure 17.22.070.F for map)		
Storefront or Mixed	Rear	Surface parking areas may be located to the side or rear of buildings provided no more than 62' of street frontage is occupied by parking and vehicle access areas. See Figure 17.22.030.D.
Landscaped	Side, rear	Surface parking areas may be located to the side or rear of buildings. Parking areas located between a building facade and the street are prohibited. See Figure 17.22.040.D.

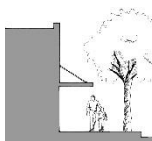
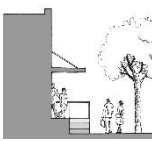


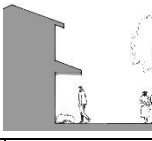

17.22.060 Garden subdistrict standards.

Developments in the garden subdistrict shall be regulated by Table 17.22.060.

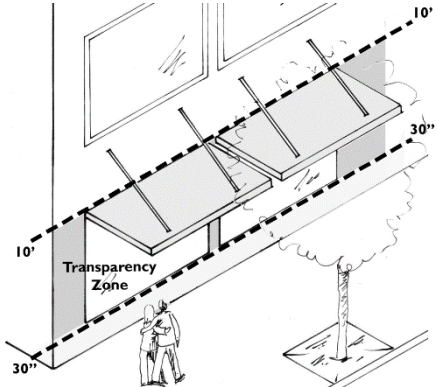
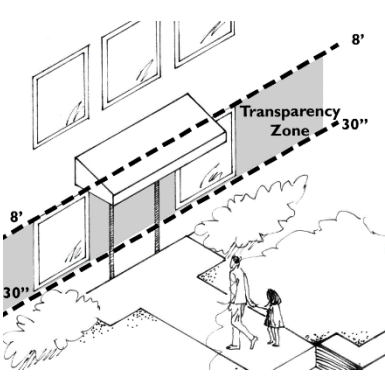
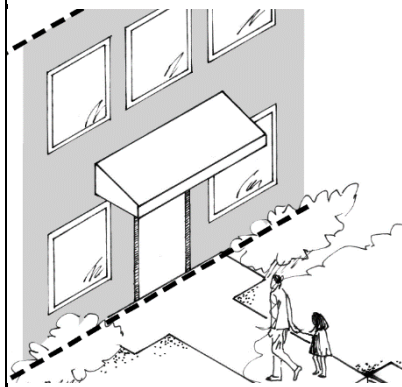




Table 17.22.060		
Garden subdistrict dimensional standards.		
Element	Standard	Reference
A. Building Placement		
Setbacks (measured to foundation)		
Front (A)	0-15'	 <p>*Front and side street setbacks are based on the applicable block frontage standards set forth in BMC 17.22.070</p> <p>**5' minimum, except 10' for structures 3-stories or taller</p> <p>Figure 17.22.060.A</p>
Rear (B)	0-30'	
Side – interior (C)	5-10'	
Side - street (D)	0-15'	
B. Building Height & Massing		
Minimum/maximum height	22'/36-48'*	 <p>* Maximum height dictated by the Official Zoning Map</p> <p>Figure 17.22.060.B</p>
Façade articulation – max. interval for non-residential uses (see 17.22.080.D.2)	30'	
Maximum façade width (see 17.22.080.D.5)	90'	
C. Lot Standards		
There are no separate standards for minimum lot width or area or minimum or maximum building coverage. It is intended to let the block frontage, parking, and building design standards and property owner preferences dictate the design of lots and buildings.		
D. Surface Parking Location		
Parking location standards vary based on the designation of the fronting street (see Figure 17.22.070.F for map)		
Mixed	Side, rear	Parking may be located to the side of buildings provided no more than 62' of street frontage is occupied by parking and vehicle access areas. See Figure 17.22.030.D
Landscaped	Side, rear	Surface parking areas may be located to the side or rear of buildings. Parking areas located between a building facade and the street are prohibited. See Figure 17.22.040.D.

17.22.070 Block Frontage Standards.

- A. Purpose. This section identifies the permitted frontage types per applicable block frontage designation, and provides standards for each frontage type to ensure that new development relates to the street and reinforces the existing and desired development frontage patterns in the CBD.
- B. Applicability and compliance. The provisions herein apply to all new development. Building additions must meet applicable building design standards. For remodels, improvements may not increase any existing non-conforming material or design elements. For example, any remodel to an older façade that doesn't meet current facade transparency requirements may not propose changes that increase the transparency nonconformity.
- C. Permitted frontage types. The chart below illustrates the range of block frontages that are permitted for each block frontage designation as referenced in the map in Figure 17.22.070.F.

Table 17.22.070.C Permitted Frontage Types.			
	Block Frontage Designation		
Frontage Type	Storefront	Mixed	Landscaped
Storefront 	✓	✓	
Stoop 		✓	
Light Court 		✓	
Terraced Yard 		✓	✓
Common Yard 		✓	✓
Fenced Yard 		✓	✓

- D. About the transparency standards. All frontage types contain distinct minimum façade transparency standards. The purpose of these standards is to maintain “eyes on the street” for safety and create a welcoming pedestrian environment. Table 17.22.070.D below includes details in how they are measured.

Table 17.22.070.D Clarification of transparency standards		
Transparency zones		
<p>Storefront</p>  <p>The transparency zone is on the ground floor between 30" and 10' above sidewalk grade</p>	<p>Ground floor non-residential and non-storefront</p>  <p>The transparency zone is between 30" and 8" above grade</p>	<p>Residential buildings and residential portions of mixed-use buildings</p>  <p>All vertical surfaces of the façade are used in the calculations</p>
Other Transparency Provisions		
<p>Windows must be transparent</p> <p>Ground level window area for storefront uses that is covered, frosted, or perforated in any manner that obscures visibility into the building must not count as transparent window area.</p> <p>Exception: Window signs conforming with Chapter 17.122 BMC may be counted as transparent window area.</p>		
<p>Display windows</p> <p>Display windows may be used for up to 50% of non-residential transparency requirements provided they are at least 30" deep to allow changeable displays and the interior wall is non-structural so it can be removed if the windows are not used for display. Exterior display cases, as in the far right example, don't qualify as transparent window area.</p>	 <p>Integrated display windows</p>	 <p>Exterior display cases</p>

- E. Departures. The frontage type standards include strategic departure opportunities that are designated with the ➡ symbol. A departure allows for alternative designs provided they meet the intent of the standards and any special departure criteria.
- F. Block frontage map. Figure 17.22.070.F below includes three distinct block frontage designations for the Central Business District that dictate what frontage types are permitted on a block by block basis.

Figure 17.22.070.F CBD Block frontage designation map.

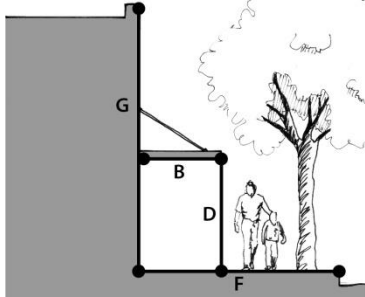
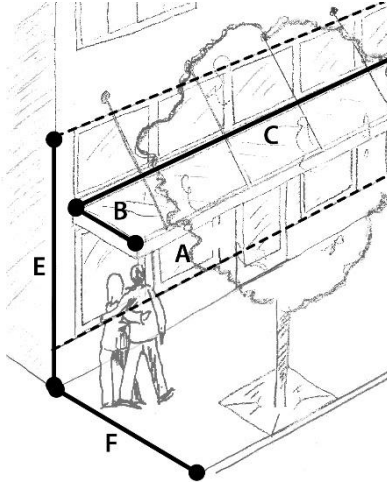


G. Block frontage type standards. Tables 17.22.070.G.1-6 include standards for six block frontage types that are allowed in the CBD.

I. Storefront standards. See Table 17.22.070.G.1 for applicable standards.

Table 17.22.070.G.1 Storefront standards.

Storefronts are commercial building facades located adjacent to a public sidewalk.

		<p>Dimensions</p> <p><u>Transparency</u></p> <p>A. At least 70% of transparency zone ➞</p> <p><u>Weather protection</u></p> <p>B. 6' deep (min.) ➞</p> <p>C. Along 80% of frontage (min.) ➞</p> <p>D. Placed between 8-15' above sidewalk</p> <p><u>Floor to ceiling height</u></p> <p>E. 15' minimum ➞</p> <p><u>Sidewalks</u></p> <p>F. 12' wide minimum ➞</p> <p><u>Facade height</u></p> <p>G. 22' minimum ➞</p>
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Storefront uses

Non-residential uses are required on ground floor block frontages to a minimum depth of 20 feet ➞. Lobbies for residential uses are an exception.

Building entrances

Primary building entrances must face the street. For corner buildings, primary entrances may face the street corner.

Window sill-walls

Storefront windows must be placed on sill walls between 12-30" high. Transparent, opening-wall style doors, such as garage doors, that are functional and can be opened are an exception to this standard.

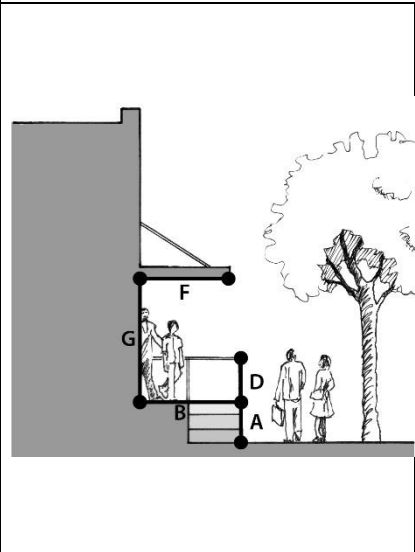
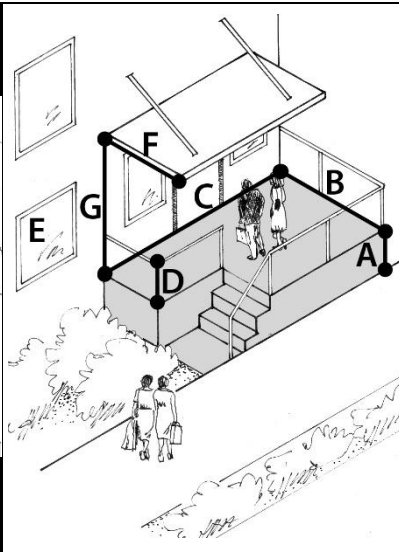
Examples



2. Stoop standards. See Table 17.22.070.G.2 for applicable standards.

Table 17.22.070.G.2 Stoop standards.

Stoops are elevated platform entryways situated close to the sidewalk. The elevated stoop design increases privacy for the dwelling unit. Steps or ramps that lead to the stoop platform may be placed in front or to the side of the platform.

		<p>Dimensions</p> <p><u>Platform</u></p> <p>A. 0'-36" tall ➡</p> <p>B. 6' minimum depth</p> <p>C. 6' minimum width</p> <p><u>Railing</u></p> <p>D. 36-42" height</p> <p><u>Transparency</u></p> <p>E. Non-residential: At least 25% of transparency zone ➡; Residential: At least 15% of transparency zone ➡</p> <p><u>Weather protection</u></p> <p>F. 3' deep (min.) over width of building entry</p> <p>G. Placed between 8-15' above platform</p>
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Building entries must be visible from the street.

Railing design. Railings facing the sidewalk that extend more than 48" over the sidewalk, must be designed with a minimum of 50% transparency (no solid walls). ➡ Alternative designs will be considered provided provide the design of railings adds visual interest to the streetscape.

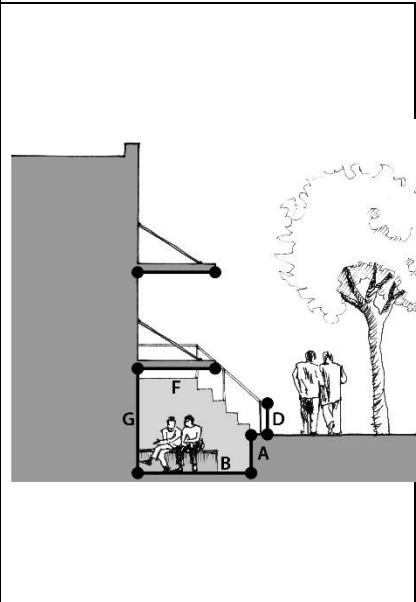
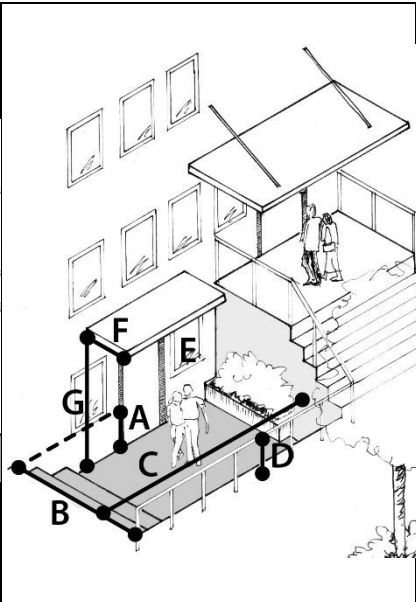
Examples



3. Lightcourt standards. See Table 17.22.070.G.3 for applicable standards.

Table 17.22.070.G.3 Lightcourt standards.

Lightcourts are sunken courts recessed from the sidewalk. Lightcourts are often designed in tandem with stoops to allow two floors to have street/sidewalk access.

		<p>Dimensions</p> <p><u>Lightcourt base</u></p> <p>A. 0'-5' recessed ➡</p> <p>B. At least 10' deep ➡</p> <p>C. At least 10' wide</p> <p><u>Railing</u></p> <p>D. 36-42" height</p> <p><u>Transparency</u></p> <p>E. Non-residential: At least 25% of transparency zone ➡; Residential: At least 15% of transparency zone ➡</p> <p><u>Weather protection</u></p> <p>F. 3' deep (min.) over width of building entry</p> <p>G. Placed between 8-15' above lightcourt base</p>
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Building entries must be visible from the street.

Railing design. Railings may be solid or transparent.

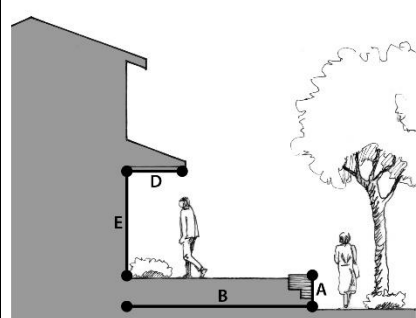
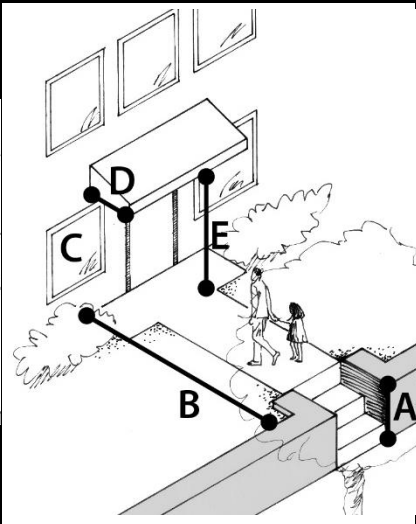
Examples



4. Terraced yard standards. See Table 17.22.070.G.4 for applicable standards.

Table 17.22.070.G.4 Terraced yard standards.

Terraced yards feature raised lawns or planting beds that separate buildings from sidewalks.

		<p>Dimensions</p> <p><u>Terrace wall</u></p> <p>A. 0"-36" tall ➡</p> <p><u>Building setback</u></p> <p>B. 5' minimum (see subdistrict standards for maximum setback)</p> <p><u>Transparency</u></p> <p>C. Non-residential: At least 25% of transparency zone ➡; Residential: At least 15% of transparency zone ➡</p> <p><u>Weather protection</u></p> <p>D. 3' deep (min.) over width of building entry</p> <p>E. Placed at least 8' above grade</p>
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Building entries must be visible from the street.

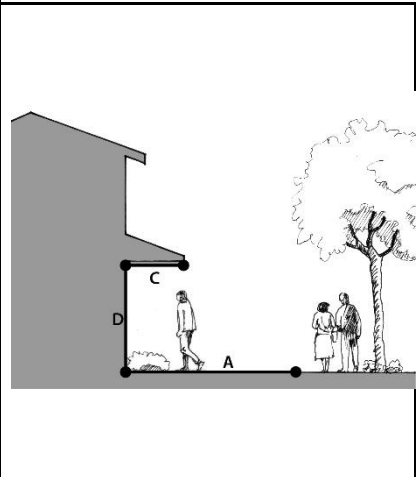
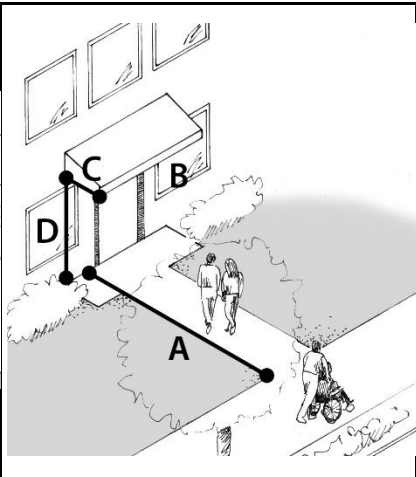
Examples



5. Common yard standards. See Table 17.22.070.G.5 for applicable standards.

Table 17.22.070.G.5 Common yard standards.

Common yard refers to landscaped frontages placed generally at grade along sidewalks.

		<p>Dimensions</p> <p><u>Building setback</u></p> <p>A. 5' minimum (see subdistrict standards for maximum setback)</p> <p><u>Transparency</u></p> <p>B. Non-residential: At least 25% of transparency zone ➡; Residential: At least 15% of transparency zone ➡</p> <p><u>Weather protection</u></p> <p>C. 3' deep (min.) over width of building entry</p> <p>D. Placed at least 8' above grade</p>
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Building entries must be visible from the street.

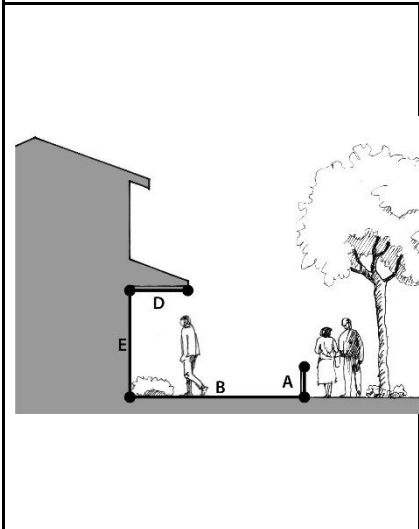
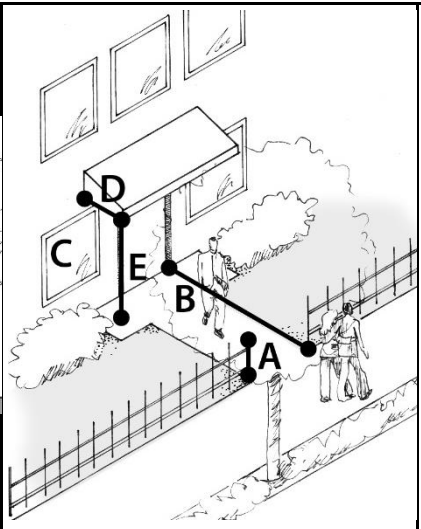
Examples



6. Fenced yard standards. See Table 17.22.070.G.6 for applicable standards.

Table 17.22.070.G.6 Fenced yard standards.

Fenced yards feature landscaped or patio frontages separated from the sidewalk by a low level fence.

		<p>Dimensions</p> <p><u>Fence</u></p> <p>A. 36"-42" tall</p> <p><u>Building setback</u></p> <p>B. 5' minimum (see subdistrict standards for maximum setback)</p> <p><u>Transparency</u></p> <p>C. Non-residential: At least 25% of transparency zone ➡; Residential: At least 15% of transparency zone ➡</p> <p><u>Weather protection</u></p> <p>D. 3' deep (min.) over width of building entry</p> <p>E. Placed at least 8' above grade</p>
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Building entries must be visible from the street.

Fence design. Fences may be solid or transparent.

Examples



7. Departure criteria. Departures from the standards in Tables 17.22.070.E.1-6 that feature the ➡ symbol will be considered provided the alternative proposal meets the purpose of the standards and the following criteria:
- Façade transparency.** The proposed alternative design treatment of façade area between ground level windows provides visual interest to the pedestrian and mitigates impacts of any blank wall areas. For storefronts, no more than 35 percent of the building's required transparency zone may be approved with a departure.
 - Weather protection.** Other proposed alternative design treatments must provide equivalent weather protection benefits or the design of alternative weather protection elements provide acceptable tradeoffs (such as reduced conflicts with existing street trees).
 - Floor to ceiling height.** Reduced heights still create floor area that is usable for a great range of permitted uses.

- d. Retail space depth. Reduced depths will be considered where the applicant can successfully demonstrate the proposed alternative design and configuration of the space is viable for a variety of permitted retail uses.
- e. Sidewalk width. Alternative designs may be considered where topographical challenges exist or where adjacent buildings are sited closer to the street and create an awkward setback. Alternative designs must be able to accommodate safe and comfortable pedestrian traffic anticipated for the development.
- f. Platform height and lightcourt base levels. Alternative height/locations may be approved where they don't create blank walls facing the street or where they do not create unsafe or unusable spaces due to the depth or width challenges of the space.
- g. Terrace heights. Taller terrace heights may be approved where the design of such terraces adds visual interest to the streetscape.

17.22.080 Building design standards.

- A. Purpose. The purpose of this section is to ensure that new development in the CBD reinforces and enhances the historical character of the area.
- B. Applicability and compliance. The provisions herein apply to all new development except single-family homes. Building additions must meet applicable building design standards. For remodels, improvements may not increase any existing non-conforming material or design elements.
- C. Departures. The building design standards include strategic departure opportunities that are designated with the ➡ symbol. A departure allows for alternative designs provided they meet the purposes of the standards and any special departure criteria.
- D. Building massing and articulation.
 - 1. Purpose. To employ façade articulation techniques that reduce the perceived scale of large buildings and add visual interest from all observable scales.
 - 2. Façade articulation - non-residential. Storefronts and other buildings with non-residential uses on the ground floor must include articulation features at maximum intervals specified in each zoning subdistrict in BMC 17.22.030-.060 to reinforce downtown's human-scaled storefront pattern. These standards apply to all street facing facades and residential zone edge building elevations. At least three of the following features must be employed at intervals no greater than the district-specified articulation limit.
 - a. Window patterns and/or entries.
 - b. Use of weather protection features.
 - c. Use of vertical piers/columns.
 - d. Change in roofline per subsection (D)(6) below.
 - e. Change in building material.
 - f. Articulation of a single building material through varying colors, textures. Changes in color must be separated by trim, joints, or other material/design features that help to provide an effective articulation transition.
 - g. Other design techniques that effectively reinforce a human-scaled pattern compatible with the building's surrounding context.

Other features that could be used to meet the standards on non-storefront frontages:

- h. Vertical elements such as a trellis with plants, green wall, art element.
 - i. Providing vertical building modulation of at least 12 inches in depth if tied to a change in roofline per subsection (D)(6) below or a change in building material, siding style, or color.
- Departures to the above standards will be considered provided they meet the purpose of the standards and the design criteria set forth in subsection (D)(4) below.

Figure 17.22.080.D.2 Façade articulation example.



3. Façade articulation - residential. Residential buildings must include articulation features at intervals that relate to the location/size of individual units within the building (or no more than every 30 feet) to break up the massing of the building and add visual interest and compatibility to the surrounding context. These standards apply to all street facing facades and residential zone edge building elevations. At least three of the following features must be employed at intervals no greater than the unit interval or 30 feet (whichever is less):
- a. Use of windows and/or entries.
 - b. Change in roofline per subsection (D)(6) below.
 - c. Change in building material, siding style, and/or window pattern.
 - d. Use of vertical columns or piers.
 - e. Providing vertical building modulation of at least 12 inches in depth if tied to a change in roofline modulation per subsection (D)(6) below or a change in building material, siding style, or color. Balconies may be used to qualify for this option if they are recessed or projected from the façade by at least 18 inches. Juliet balconies or other balconies that appear to be tacked on to the façade will not qualify for this option unless they employ high quality materials and effectively meet the purpose of the standards.

- f. Articulation of a single building material through varying colors, textures. Changes in color must be separated by trim, joints, or other material/design features that help to provide an effective articulation transition
 - g. Vertical elements such as a trellis with plants, green wall, art element.
 - h. Other design techniques that effectively break up the massing at no more than the unit interval or 30 feet (whichever is less).
- ➡ Departures to the above standards will be considered provided they meet the purpose of the standards and the design criteria set forth in subsection (D)(4) below.

Figure 17.22.080.D.3 Residential façade articulation example

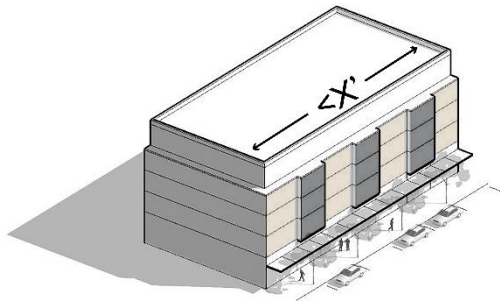


4. Departure criteria associated with articulation standards. Proposals must meet the purpose of the standards. The following criteria will be considered in determining whether the proposed articulation treatment meets the “purpose”.
 - a. Consider the type and width of the proposed articulation treatment and how effective it is in meeting the purpose given the building’s current and desired context (per Blaine’s Comprehensive Plan).
 - b. Consider the size and width of the building. Smaller buildings warrant greater flexibility than larger buildings.
 - c. Consider the quality of façade materials in concert with doors, windows, and other façade features and their ability to add visual interest to the street from a pedestrian scale and more distant observable scales.
5. Maximum façade width. New buildings wider than the specified maximum façade width for the applicable subdistrict in BMC 17.22.030-.060 must include at least one of the following features to break up the massing of the building and add visual interest. Building walls facing alleys, rear or side setbacks are not subject to the standards herein, except for zone edge properties, when adjacent to a lower intensity subdistrict:
 - a. Provide vertical building modulation at least six feet deep and 20 feet wide. For multi-story buildings, the modulation must extend through more than one-half of the building floors.
 - b. Use of a contrasting vertical modulated design component featuring the following:
 - (A) Utilizes a change in building materials that effectively contrast from the rest of the façade.

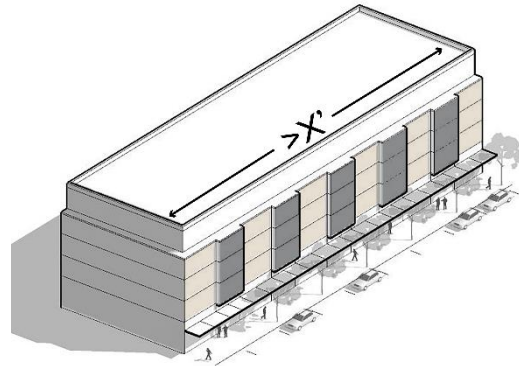
- (B) Component is modulated vertically from the rest of the façade by an average of six inches.
- c. Façade employs building walls with contrasting articulation that make it appear like multiple distinct buildings. To qualify for this option, these contrasting façades must employ all of the following:
 - (A) Different building materials and/or configuration of building materials.
 - (B) Contrasting window design (sizes or configurations).
- Departures designs will be considered provided the design meets the purpose of the standards. Supplemental consideration for approving alternative designs:
 - (A) Width of the façade. The larger the façade, the more substantial articulation/ modulation features need to be.
 - (B) The type of articulation treatment and how effective it is in meeting the purpose given the building's context.

Figure 17.22.080.D.5 Illustrating maximum façade width standards.

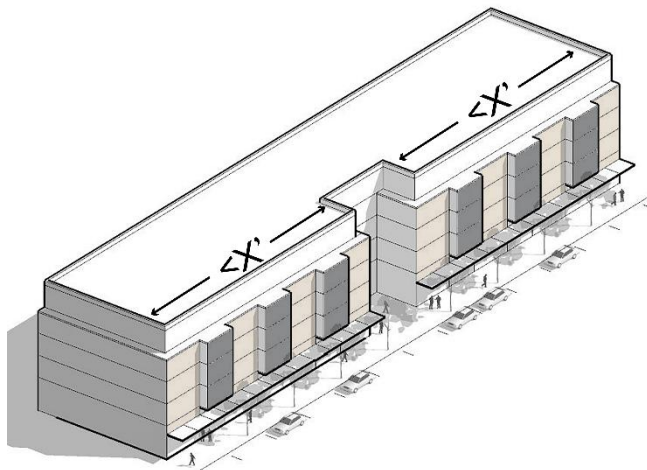
X = Specified maximum façade width for each zoning subdistrict per BMC 17.22.030-.06



Less than subdistrict specified maximum façade width:
Meets standard



More than subdistrict specified maximum façade width:
Does not meet standard



Building incorporates a 20'x30' courtyard along the façade (technique #1 noted above) to effectively break it up

into smaller components: Meets standard.

Figure 17.22.080.D.5 Examples of buildings that would comply with maximum façade width standards.



The middle articulation feature is an effective contrasting vertical modulated design component. While it technically wouldn't meet all of the provisions under subsection (5)(b), the contrasting materials and designs would qualify as a good departure example.

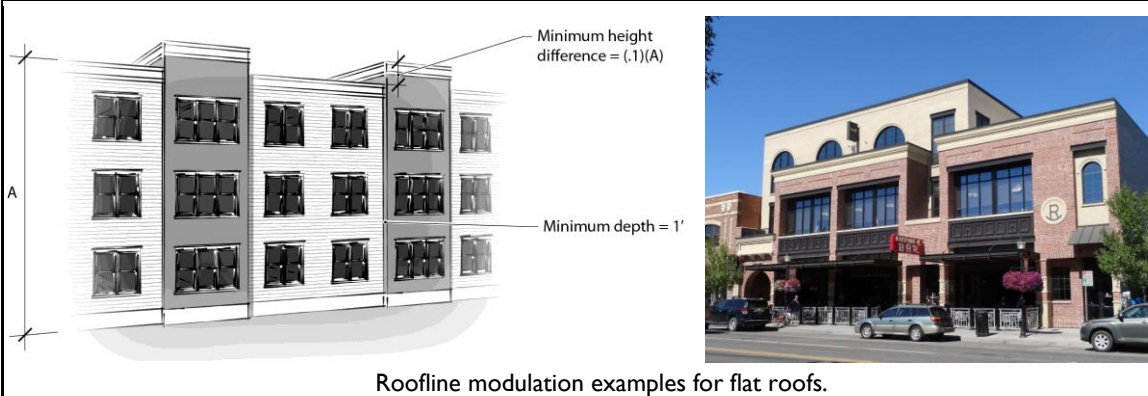


This building provides vertical building modulation at least 10 feet deep and 30 feet wide. The changes in materials and roofline modulation also help.

6. Roofline modulation. Roofline modulation is not required on all buildings. However, it can be used as one of the facade articulation features in subsections (D)(2-3) above. In order to qualify as an articulation feature, rooflines must employ one or more of the following:
 - a. For flat roofs or façades with horizontal eave, fascia, or parapet, the minimum vertical dimension of roofline modulation is the greater of two feet or 0.1 multiplied by the wall height (finish grade to top of the wall) when combined with vertical building modulation techniques described in subsections above. Otherwise, the minimum vertical dimension of roofline modulation is the greater of four feet or 0.2 multiplied by the wall height.
 - b. A pitched roofline or gabled roofline segment of at least 20 feet in width. Buildings with pitched roofs must include a minimum slope of 5:12 and feature modulated roofline components at the interval required per the applicable standard above.
 - c. A combination of the above.
- Departures designs will be considered provided the roofline modulation design effectively reduces the perceived scale of the building and adds visual interest.

Figure 17.22.080.D.6 Acceptable examples of roofline modulation.

Figure 17.22.080.D.6 Acceptable examples of roofline modulation.



The left building illustrates a pitched roof example and the right building includes a combination of flat and gabled rooflines.

E. Building entries, details and window design.

1. Purpose.

- a. To emphasize common building entries as a prominent design element of buildings.
- b. To encourage the incorporation of design details and small-scale elements into building facades that are attractive at a pedestrian scale.
- c. To integrate window design that adds depth, richness, and visual interest to the façade and reinforces the historic character of Blaine's CBD.

2. Building entries.

- a. The primary building entrance for an office building, hotel, public or community-based facility, or other commercial building must be designed as a clearly defined and demarcated standout architectural feature of the building. Such entries must easily be distinguishable from any individual storefront entrances that may be on the same building. The scale of the entry features must be sized proportional to the size of the building. See Figure 17.22.080.E.2.a for examples.
- b. Ground floor residential units facing the street must have a separate individual building entry accessible from the street.

Figure 17.22.080.E.2.a Good entry examples.



3. Façade details - non-residential and mixed-use buildings. All buildings must employ at least one detail element from each of the three categories below for each façade facing a street or public space for each façade articulation interval (see BMC 17.22.080.D.2).

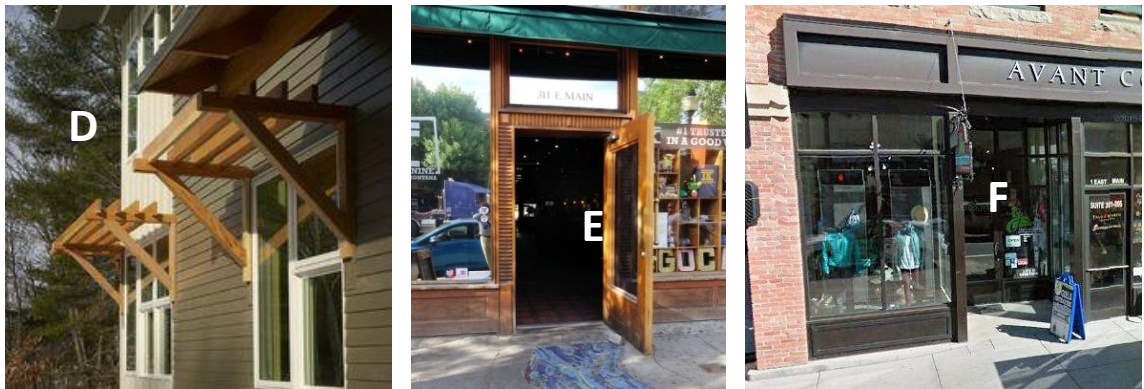
a. Window and/or entry treatment, such as:

- (A) Display windows divided into a grid of multiple panes.
- (B) Transom windows.
- (C) Roll-up windows/doors, or other openable “wall.”
- (D) Other distinctive window treatment that meets the purpose of the standards.
- (E) Recessed entry.
- (F) Decorative door.
- (G) Other decorative or specially designed entry treatment that meets the purpose of the standards.

Figure 17.22.080.E.3.a Examples of decorative or specially designed windows and entries.



Figure 17.22.080.E.3.a Examples of decorative or specially designed windows and entries.



Examples of decorative or specially designed windows and entries. A = openable storefront window. B = transom windows. C = openable window with decorative details. D = decorative window shades. E = Decorative door and frame. F = recessed entry.

b. Building elements and façade details, such as:

- (A) Custom-designed weather protection element such as a steel canopy, cloth awning, or retractable awning.
- (B) Decorative building-mounted light fixtures.
- (C) Bay windows, trellises, towers, and similar elements.
- (D) Decorative, custom hanging sign(s) (option only available for building remodels).
- (E) Other details or elements that meet the purpose of these standards.

Figure 17.22.080.E.3.b Examples of attached elements that enhance the visual intrigue of the building.



Examples of elements attached to facades that enhance the visual intrigue of the building. A = retractable awning. B = custom decorative canopy. C = decorative tower.

c. Building materials and other facade elements, such as:

- (A) Use of decorative building materials/use of building materials. Examples include decorative use of brick, tile, or stonework.
- (B) Artwork on building (such as a mural) or bas-relief sculpture.
- (C) Decorative kick-plate, pilaster, base panel, or other similar feature.
- (D) Hand-crafted material, such as special wrought iron or carved wood.
- (E) Other details that meet the purpose of the standards.

Figure 17.22.080.E.3.c Examples of building material details that enhance the visual intrigue of the building.



Examples of decorative surface materials. A = decorative brick/design. B = decorative tile-work and column pattern. C = decorative medallion. D = decorative mosaic tile work. E = decorative bulkhead. F = Decorative bulkhead design with tile.

- ➔ Departures will be considered provided the façade (at the overall scale and at the individual articulation scale) meets the purpose of the standards above.
- 4. Improvements to older buildings (constructed prior to 1950):
 - a. Awnings and signage must not cover distinctive features of the façade.
 - b. Any existing “false front” materials covering older buildings must be removed in conjunction with façade remodels.

- c. Use of metal siding or screening, plastic, plywood, sheet wood products, fiberglass, or similar materials to cover the façade of older buildings is prohibited.
 - d. Exterior remodels of older buildings must utilize original materials, window styles, and building ornamentation. Alternative materials can be used to replicate original façade elements and details as long as the historical design qualities are maintained.
5. Window and sill wall design standards.
- a. All windows (except storefront display windows) must be recessed at least two inches from the façade, incorporate trim at least 4 inches wide, or incorporate other design treatments that add depth, richness, and visual interest to the façade.
 - b. All windows on upper floors must be oriented so their vertical dimension exceeds their horizontal dimension. Ganged double-hung style windows are permitted as an exception.
 - c. Windows must include sill walls on all street facades:
 - (1) Sill walls must be placed 12-30 inches above the finished floor on the ground floor. The purpose is to integrate a generally consistent horizontal element that ties the building together. Transparent “openable wall” style doors are an exception to this standard.
 - (2) Sill walls must be placed 12-30 inches above the finished floor on upper floors in the Market subdistrict.
 - (3) Sill walls must be placed 18-36 inches above the finished floor on upper floors in the Town Portal, Garden, and Waterview subdistricts.
 - d. Prohibited windows: Mirrored glass is prohibited.
- ➡ Departures to the window standards above will be considered provided the design meets the purpose of the standards.

Figure 17.22.080.E.5.a Acceptable and unacceptable window design examples.



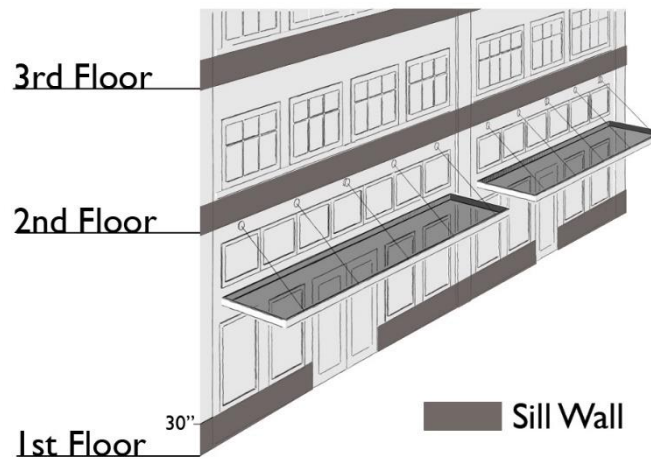
A-D are recessed and/or trimmed windows. A, C, and D have vertical dimensions that equal or exceed the horizontal dimension. Window B qualifies as a gang-style window that is grouped via vertical oriented mullions or muntins.

Figure 17.22.080.E.5.a Acceptable and unacceptable window design examples.



This window lacks any other detail that adds visual interest.

Figure 17.22.080.E.5.c Sill walls.



6. Tripartite design. Multistory buildings shall provide tripartite building articulation (building top, middle, and base) to provide pedestrian scale and architectural interest:
 - a. Building top – includes a distinctive roofline that effectively provides an identifiable “top” to the building. Pitched roofs must feature a 3:12 minimum roof pitch. Flat rooflines must include a cornice line or other effective features or techniques that visually terminate the building. Parapet walls or cornice lines must be decorated with ornamental caps or moldings that are visible from the ground level. Such rooflines must be proportional to the size and scale of the building. Understated cornice lines are permitted depending on the materials and design of the base and middle elements in reinforcing the base/middle/top configuration.
 - b. Building middle – includes consistent window fenestration patterns and façade articulation techniques.
 - c. Building base – includes a ground floor design that is distinct from upper floors through the use of unique materials, window fenestration, prominent building entry(s), and/or façade detailing.

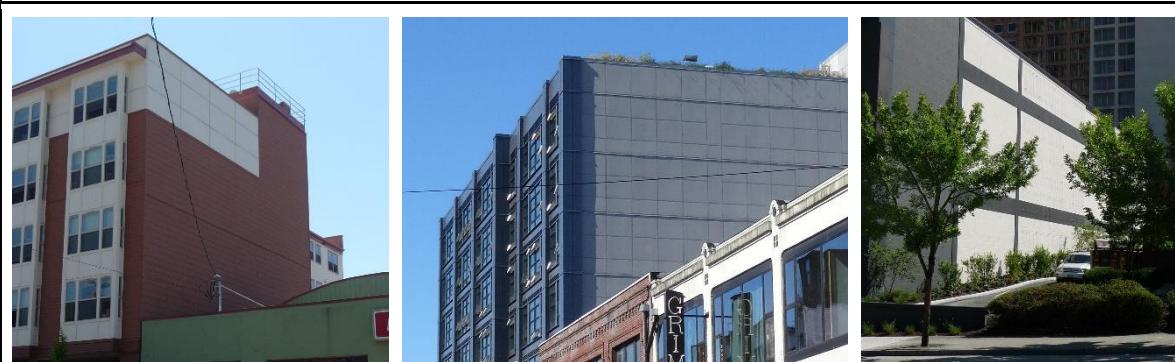
Figure 17.22.080.E.6.a Tripartite design example.

Figure 17.22.080.E.6.a Tripartite design example.



7. Firewalls and other similar interior shared walls that are exposed along a side property line shall be coated and finished in some manner to add visual interest. Examples include horizontal and/or vertical scoring or banding or textured and/or colored concrete patterns. Alternative design treatments such as art or graphics may be approved provided they meet the purposes of the standards.

Figure 17.22.080.E.7 Acceptable firewall design examples.



The examples above use a combination of banding or scoring elements to help add interest to these firewalls. The right image also includes a trellis (not visible) that supports vine plants.

F. Building materials and colors.

1. Purpose.

- a. To encourage the use of durable, high quality building materials that complement the historic character of downtown, minimize maintenance cost and provide visual interest from all observable vantage points.
- b. To place the highest priority on the first floor in the quality and detailing of materials at the pedestrian scale.

2. High quality, compatible building materials. Applicants must use high quality durable materials. This is most important for the base of buildings, particularly for commercial and mixed-use buildings where the façade is sited close to sidewalks. At a minimum, stone, brick or tile masonry, or architectural concrete (first two feet only) must be used (excluding window and door areas) for the first floor of cladding on non-residential or mixed-use buildings and the first two feet of residential buildings. Wood cladding is acceptable due its historic relevance.

Subsections (F)(3-7) include special conditions for the use of certain materials.

3. Special conditions and limitations for concrete block (also known as concrete masonry unit or CMU). Concrete block may be used as a cladding material if it is incorporated with other permitted materials and/or incorporates a combination of textures and/or colors to add visual interest. For example, combining split or rock-façade units with smooth blocks can create distinctive patterns. The figure below illustrates acceptable concrete block use/designs.

Figure 17.22.080.F.3 Concrete block examples.



CMU is the primary cladding for the corner element above, but secondary to brick on the main façade. The corner element uses a combination of decorative split faced CMU closer to the sidewalk and smooth-faced CMU that is colored to look more like traditional white terra cotta tiles.



The above façade illustrates an acceptable alternative example, as CMU is used as the primary cladding material. Note the use of split-façade CMU's above each of the awnings and coupled with the use of smooth-façade CMU's on the vertical columns (which employ black accent tiles for added interest).

4. Special conditions and limitations for metal siding. Metal siding may be used as a secondary cladding material (no more than 15 percent of the total façade area) if it is incorporated with other permitted materials and complies with the following standards:
 - a. Metal siding must be a minimum 24-gauge thickness. Re-purposed metal siding is exempt from minimum thickness requirements provided its material integrity is intact.
 - b. Metal siding must feature appropriate molding, trim, or hemming at all exposed edges and corners.
 - c. Metal siding must be factory finished, or alternately purposefully designed to naturally patina. Highly reflective galvanized finished are prohibited. Re-purposed or re-claimed metal siding is permitted.
 - d. Metal siding is not allowed on the ground floor of non-residential and mixed-use buildings. Masonry, concrete, or other durable material must be incorporated between the metal siding and the ground plane on residential buildings.
- ➡ Departures: Other designs will be considered provided the material's integration and overall façade composition meets the purpose of the standards and fits with the site's context.

Figure 17.22.080.F.4 Metal siding examples.



The metal siding on this façade may account for greater than 15% of the façade, but its integration as a secondary element that helps to articulate the façade and add interest makes it a good example. Note the integration of detailed windows and the cornice line.



The metal siding on this storefront functions both as an accent component and an effective articulation feature that breaks up the façade and adds visual interest.

5. Special conditions and limitations for the use of Exterior Insulation and Finish System (EIFS). Such material/finishes may be used as a decorative accent cladding material if incorporated with other permitted materials and compliant with the following:
 - a. On buildings of three or more stories, EIFS is limited to no more than 15 percent of the total façade area and may not be the primary cladding material. On buildings two-stories or less, EIFS is limited to 40 percent of the total façade area.
 - b. EIFS must feature a smooth or sand finish only.
 - c. EIFS must be trimmed in wood, masonry, or other material and must be sheltered from weather by roof overhangs or other methods.

- d. EIFS is not allowed on the ground floor of non-residential and mixed-use buildings. Concrete, masonry, or other durable material must be used between the EIFS and the ground plane on residential buildings.
- ☛ Departures to allow up to 50 percent coverage of the façade and other design treatments will be considered provided the material's integration and overall façade composition meets the purpose of the standards.

Figure 17.22.080.F.5 EIFS examples.



Note the use of brick and decorative concrete block on the ground level and EIFS on the second floor of the left image. The window treatments visible on the second floor add depth and interest to the façade. The right image employs EIFS between the window and sidewalk - this design is prohibited.

- 6. Special conditions and limitations for the use of cementitious wall board paneling/siding:
 - a. Cement board paneling/siding is not allowed on the ground floor of non-residential and mixed-use buildings where adjacent to a sidewalk.
 - b. Where cement board paneling/siding is the dominant siding material, the design must integrate a mix of colors and/or textures that are articulated consistent with windows, balconies, and modulated building surfaces and are balanced with façade details that add visual interest from the ground level and adjacent buildings.
- ☛ Departures will be considered provided the material's integration and overall façade composition meets the intent of the standards.

Figure 17.22.080.F.6 Cementitious wall board examples.



The above building uses cementitious wall board in different textures and colors to help articulate the façade. The white color replicates the board and batten style in the left image and green color in the right image effectively replicates horizontal wood siding.



The wall board panels covering a large area in a single color would not meet the purpose of the standards.

7. Special conditions and limitations for the use of vinyl siding, asphalt siding, aluminum lap siding, stucco pebble siding, siding grade plywood, and unembellished concrete.
 - a. The subject materials are not allowed on non-residential and mixed-use buildings.
 - b. Where the subject materials are the dominant siding material (residential buildings only), the design must integrate a mix of colors and/or textures that are articulated consistent with windows, balconies, and modulated building surfaces and are balanced with façade details that add visual interest from the ground level and adjacent buildings.
- ➡ Departures will be considered provided the material's integration and overall façade composition meets the intent of the standards.
8. Prohibited materials.
 - a. Reflective glass.
9. Exterior building colors within the CBD should be harmonious with the colors of adjacent buildings and should not produce an effect of visual competition or discord. Colors should be

mutually supportive and beneficial to the overall character of the streetscape and the surrounding natural environment.

- a. Allowed building colors. The building exterior base color(s) should be subdued. Earth tones are encouraged in addition to colors which would be considered complimentary.
- b. Use of up to three colors. No more than 3 distinct colors may be used as exterior base colors exclusive of building trim.
- c. Use of bright colors. Colors that are considered bright or garish may not be used as the base building color, trim color, or to create a graphic design on the exterior of the building, but may be used to accent fine architectural details.
- d. Use of colors with unpainted building materials. Stone, brick, tile masonry should remain unpainted. Building colors should accent, blend with or complement unpainted building materials.
- e. Transition areas. Buildings adjacent to the SF-I residential district shall use building colors which are complimentary, and provide a sensitive transition to the adjacent neighborhood.

17.22.090 Boardwalk development and connections.

A continuous pedestrian facility (boardwalk) is planned to run along the west side of the buildings fronting Peace Portal Drive from F Street to Clark Street at or near the grade of Peace Portal Drive. Standards associated with this planned facility:

- A. New and remodeled developments adjacent to this planned facility must be designed to accommodate connections to the boardwalk.
- B. Major new construction must dedicate a 20-foot wide easement for the purpose of constructing and maintaining the boardwalk. Reduction of the easement width to 12 feet may be considered in circumstances where the offsetting space is instead occupied by publicly usable street-level commercial space, either interior or exterior such as a deck or a patio.
- C. New construction is not required to build individual sections of the boardwalk, but shall connect to the boardwalk where applicable.

17.22.110 Drive-through facilities.

- A. Drive through facilities shall be designed to minimize adverse impacts to the pedestrian environment and shall only be permitted as an accessory use.
- B. Drive through facilities shall utilize alley access for entry and/or exiting whenever feasible. Exiting to alley is prioritized when only one option is available.
- C. Drive through facilities are not permitted to have direct entry or exit from/to Peace Portal Drive.
- D. Drive through facilities are prohibited from having direct entry or exit from/to H Street, except for drive through facilities in existence upon the adoption of this code.
- E. Drive through lanes located between buildings and a street are prohibited.

17.22.120 Chain link fences.

- A. Chain link fences within 20 feet of a right-of-way, excluding alleys, and visible from a street or sidewalk are prohibited in the following areas:
 - I. Along designated Storefront and Landscaped block frontages, per Figure 17.22.070.F.

2. Within the Garden District.
- B. Chain link fencing, where permitted within 20 feet of a right-of-way, excluding alleys, and visible from a street or sidewalk must be screened with landscaping meeting the following standards:
 1. A planting strip at least three feet wide.
 2. Evergreen plant material capable of obscuring one-half of the fence height in three years.
- C. Chain link fencing, when permitted, must be vinyl-coated and colored black, dark green, or dark brown. Fence slats may be required at the discretion of the Director.
- ☉ Departures from location requirements will be considered for municipal facilities.

17.22.130 Mobile food services.

- A. Food trucks or other mobile food services are permitted to occupy legal public parking spaces in the right-of-way.
- B. Unless granted a Conditional Use Permit by the Planning Commission, all food trucks and mobile food services must comply with the following:
 1. Food trucks or other mobile food services are prohibited from operating on the right-of-way within 100 feet of the front entrance of an operating and open for business eating and drinking establishment.
 2. Food trucks or other mobile food services may not remain stationary for more than five hours in the public right-of-way. Relocation must be to a site at least 1,000 feet away from the prior location.
- C. The Planning Commission may grant a Conditional Use Permit to food trucks and mobile food services to operate in a fixed location for more than five hours, to operate within 100 feet of an operating and open for business eating and drinking establishment, and/or:
 1. In a public plaza or park subject to a recommendation of approval by the Park and Cemetery Board, or
 2. On the public right-of-way subject to issuance of a Right-of-Way Obstruction Permit.
- D. Food trucks and mobile food services for City authorized special events are exempted from BMC 17.22.040 B.
- E. As an accessory use operating in conjunction with a legally permitted use, a food truck or mobile food service may operate on private property for up to 8 hours in one day. No permanent utility connections may be constructed to accommodate the food truck or mobile food service.

17.22.140 Use of public right-of-way.

- A. The use of public right-of-way adjacent to a business location is permitted by the on-site business within the following limits:
 1. An unobstructed walkway at least 6 feet wide must be maintained on the sidewalk. This shall take into consideration street fixtures such as trees, benches, and fire hydrants.
 2. The use of the sidewalk shall not be for an unsightly use.
 3. Any reserved space shall be defined by an anchored decorative steel fence subject to administrative design review and shall meet the requirements of BMC 17.128.010(C) & (D).

4. A Right-of-Way Obstruction Permit is required for any sidewalk obstructions except for temporary and fully portable uses such as display of merchandise for sale during business open hours.
- B. Use of the public right-of-way is not synonymous with use of the Waterview boardwalk easement.
 - C. Use of a public plaza, such as G Street or H Street, is subject to the restrictions in BMC 17.22.050.A.
 1. Such use shall obtain a Conditional Use Permit from the Planning Commission.
 2. Under no circumstance shall such use shall extend more than 12 feet into the plaza as measured from the face of the building.

17.22.150 Utilities.

- A. All outdoor service and storage areas shall not be visible from adjacent sidewalks. When a fully screened location is infeasible the Director may approve an alternate.
- B. Trash and other waste receptacles shall be screened with a sturdy, secured, and opaque screen, such as a free standing fence or lattice that cannot be removed by an individual or by inclement weather. The enclosure shall not extend onto the public right-of-way, unless permitted through a Right-of-Way Obstruction Permit.
- C. All outdoor HVAC units shall be screened from view including roof-mounted units.
- D. A noise reducing barrier shall be provided for all HVAC units that exceed 50dB(A) at the closest property line. Vegetation can be used to screen but is not considered an acceptable noise barrier.
- E. Utility meters shall be placed so that they are not visible from the sidewalk whenever feasible. Utility meters should be grouped when possible.
- F. Satellite dishes, micro-turbines, and other utility features should be placed away from the street whenever feasible.
- G. Each residential unit must have a dedicated utility storage of at least 36 square feet for all new developments with five or more dwelling units.

17.22.160 Lighting.

- A. General.
 1. Lighting trespass that spills over onto neighboring residential properties or causes glare on adjacent streets is prohibited. The maximum illumination level at the property line abutting residential properties shall not exceed 0.1 foot candles.
 2. Lighting design should include the installation of timers, photo sensors, and other energy saving devices.
- B. Facade lighting. Facade mounted lighting fixtures that wash the face of the building are encouraged. Shielded, full cut-off fixtures shall be used with illumination not exceeding 5.0 foot candles. Up lights should be avoided but can be used discretely if necessary.
- C. Yard lighting. Low level (bollards or recessed) lighting fixtures shall be installed for interior walkways. Pole mounted lights may provide additional lighting as necessary.

- D. Parking lighting. Parking area and walkways must be lit. Commercial properties that are adjacent to residential areas shall reduce the lighting in their parking lots to an average of 0.2 foot candles one hour after closing. Light trespass standards also apply.

17.22.170 Parking requirements.

See parking standards contained in BMC Sec. 17.124.

17.22.180 Definitions.

The definitions contained herein apply only to Section 17.22, 17.23, 17.119, and 17.120

- A. “Articulation” means the giving of emphasis to vertical architectural elements that create a complementary pattern or rhythm, dividing large buildings into smaller identifiable pieces.
- B. “Block frontage” refers to the portion of a property that fronts onto a street or other public right-of-way. This includes the front yard and the building façade facing the street.
- C. “Building height” is measured as the distance from the average adjacent sidewalk elevation to the highest point of the structure excluding elements, such as chimneys, utility elements and decorative elements, or temporary occupied elements, such as cupolas and towers.
- D. “Conditional uses” are not allowed by right and are subject to planning commission review.
- E. “Departure” is a provision allowing applicants to propose alternative means of compliance with a specific standard on a voluntary basis, provided they meet the purposes of the standard.
- F. “Eave” is the bottom edge of a roof and normally projects beyond the side of the building forming an overhang to throw water clear of the walls.
- G. “Facade” means the entire building front or street wall face of the building extending from the finished grade at the point of contact with the building to the top of the parapet or eaves and the entire width of the building elevation.
- H. “Ground floor” means the base level of a building accessible from public walkways or sidewalks that is typically at or within three feet of adjacent sidewalk grade level.
- I. “Modulation” means a stepping back or projecting forward of portions of a building elevation as a means of breaking up the apparent bulk and scale of the building and adding visual interest.
- J. “Permitted uses” are allowed by right through administrative review.
- K. “Pitched roof” has a slope more than 3:12, unless otherwise noted.
- L. “Projection” refers to a structural element that is associated with a building’s openings and protrudes from the wall. Examples of projections are as follows:
 - 1. “Awning” means a covering attached to the exterior wall of a building composed of material extended over a light structure. It provides shelter from the sun, rain, or wind.
 - 2. “Balcony” means a platform enclosed by a wall or balustrade on the outside of a building, with access from an upper floor window or door.
 - 3. “Bay window” means a window space projecting outward from the main walls of a building and forming a bay in a room, either square or polygonal in plan. Bay windows increase the flow of natural light into a building, as well as provide views of the outside that would be unavailable with an ordinary window.

4. "Porch" means a roofed space open along two or more sides serving to shelter an entrance and provide a private outdoor space to a residence.
- M. "Public" means government-owned or dedicated property, buildings, or areas open to all persons by design or intent.
- N. Right-of-Way. (See BMC 17.142.485.)
- O. "Setback" measures the linear distance between the property line and foundation wall or pier as measured perpendicular to the property line. For upper floors, the measurement is to the plane nearest the property line.
- P. "Sidewalk" is the part of the right-of-way that is not in the roadway and is used for pedestrian movement and landscape.
- Q. "Sill wall" refers to the portion of a building façade that is placed between the floor level of each story and any windows placed within the applicable story.
- R. "Slope" is the ratio of the vertical rise over a horizontal distance.
- S. "Story" means that portion of a building included between the surface of any floor and the surface of the floor immediately above it. If there is no floor above it, then the space between the floor and the top of the rafters immediately above it is considered a story. If the finished floor level directly above the basement or cellar is more than four feet above mean ground level and the space clears seven feet in height, the basement or cellar is considered a story.
- T. "Top, Building or Building Top". Building top means a building's ridgeline or the tip of cupolas for a sloped roof and the highest point of a parapet for a flat roof. Appurtenances such as trusses, poles, chimneys, or mechanical features are not included in a building top.
- U. "Transparency" is a measure of the area of the wall that allows one to see through the building from the inside out and vice versa.
- V. Use. (See "Occupancy type.")
- W. "Vertical building modulation" is the stepping back or projecting forward of the vertical walls of a building face, within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

Chapter 17.22**CENTRAL BUSINESS ZONING DISTRICT**

17.22.010	Sub-Districts
17.22.020	Uses
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17.22.010 Sub-Districts

The Central Business District consists of five sub-districts. The Market, Town Portal, Waterview and Garden sub-districts are regulated herein. The fifth sub-district, Central Business-Wharf is regulated elsewhere in this chapter.

17.22.020 Uses

Uses in the Market, Town Portal, Waterview and Garden sub-districts shall be regulated by Table 17.22.A. Non-listed uses may be considered under BCM 17.92 – Conditional Uses.

Table 17.22.A	M	TP	WV	G
P=Permitted C=Conditional N=Not Permitted				
Single Family Residence	N	N	N	P
Multi-Family Residences-Upper Floors	P	P	P	P
Multi-Family Residences-Ground Floor	N	P	N	P
Personal and Professional Services	P	P	P	P
Eating and Drinking Establishments	P	P	P	C
Retail of New or Used Goods	P	P	P	P
Light Assembly (Products)	C	N	C	N
Art Studio/Gallery	P	P	P	P
Live-Work Spaces	P	P	C	P
Municipal Uses, Public Parking Lots and Parks	P	P	P	C
Assembly and Worship Halls	P	P	C	C
Hotels – w/ or w/o Eating and Drinking Establishments	P	P	P	C
Indoor Recreation and Entertainment	P	C	P	N
Financial Institutions	P	P	C	N
Private Schools	P	P	N	C
Offices	P	P	P	P
Mobile Food Services/Food Trucks	P	P	P	N
Non-Accessory Parking Lots/Garages-Commercial	C	C	N	N
Food or Beverage Production with On-Site Sales	P	C	P	C
Day Care Center, Adult or Child	P	P	C	P
Health Club/Fitness Studio	P	P	C	P
Funeral Home	P	P	C	C

Gas Stations and Auto Repair Shops	N	N	N	N
Mail Handling/Personal Shipping and Receiving	P	C	C	C
Adult Entertainment	N	N	N	N

17.22.025 Conditional Uses in the Garden 36 and Garden 48 Districts

- A. The Garden districts are created and specifically reserved for uses which can effectively, and with limited impact, blend with and enhance the residential setting. Consideration shall be given to traffic volumes, noise, hours of operation, odors, and the overall impact of these and other aspects of a commercial or public use in the districts when Conditional Use Permits are considered. This is in addition to the provisions of BMC Sec. 17.92, Conditional Use Permits.

17.22.030 Drive Through Facilities

- A. Drive through facilities shall be designed to minimize adverse impacts to the pedestrian environment and shall only be permitted as an accessory use.
- B. Drive through facilities shall utilize alley access for entry and/or exiting whenever feasible. Exiting to alley is prioritized when only one option is available.
- C. Drive through facilities are not permitted to have direct entry or exit from/to Peace Portal Drive.
- D. Drive through facilities for non-banking uses are prohibited to have direct entry or exit from/to H Street.

17.22.040 Mobile Food Services

- A. Food trucks or other mobile food services are permitted to occupy legal public parking spaces in the right-of-way.
- B. Unless granted a Conditional Use Permit by the Planning Commission, all food trucks and mobile food services must comply with the following:
 - 1. Food trucks or other mobile food services are prohibited from operating on the right-of-way within 100 feet of the front entrance of an operating and open for business eating and drinking establishment.
 - 2. Food trucks or other mobile food services may not remain stationary for more than 5 hours in the public right-of-way. Relocation must be to a site at least 1,000 feet away from the prior location.
- C. The Planning Commission may grant a Conditional Use Permit to food trucks and mobile food services to operate in a fixed location for more than 5 hours, to operate within 100 feet of an operating and open for business eating and drinking establishment, and/or:
 - 1. In a public plaza or park subject to a recommendation of approval by the Park and Cemetery Board, or
 - 2. On the public right-of-way subject to issuance of a Right-of-Way Obstruction Permit.
- D. Food trucks and mobile food services for City authorized special events are exempted from BMC 17.22.040 B.
- E. As an accessory use operating in conjunction with a legally permitted use, a food truck or mobile food service may operate on private property for up to 8 hours in one day. No permanent utility connections may be constructed to accommodate the food truck or mobile food service.

17.22.050 Use of Public Right-of-Way

- A. The use of public right-of-way adjacent to a business location is permitted by the on-site business within the following limits:
 - 1. An unobstructed walkway at least 6 feet wide must be maintained on the sidewalk. This shall take into consideration street fixtures such as trees, benches, and fire hydrants.
 - 2. The use of the sidewalk shall not be for an unsightly use.
 - 3. Any reserved space shall be defined by an anchored decorative steel fence subject to administrative design review and shall meet the requirements of BMC 17.128.010(C) & (D).

4. A Right-of-Way Obstruction Permit is required for any sidewalk obstructions except for temporary and fully portable uses such as display of merchandise for sale during business open hours.
- B. Use of the public right-of-way is not synonymous with use of the Waterview boardwalk easement.
- C. Use of a public plaza, such as G Street or H Street, is subject to the restrictions in BMC 17.22.050.A.
 1. Such use shall obtain a Conditional Use Permit from the Planning Commission.
 2. Under no circumstance shall such use shall extend more than 12 feet into the plaza as measured from the face of the building.

17.22.060 Utilities

- A. All outdoor service and storage areas shall not be visible from adjacent sidewalks. When a fully screened location is infeasible the Director may approve an alternate.
- B. Trash and other waste receptacles shall be screened with a sturdy, secured, and opaque screen, such as a free standing fence or lattice that cannot be removed by an individual or by inclement weather. The enclosure shall not extend onto the public right-of-way, unless permitted through a Right-of-Way Obstruction Permit.
- C. All outdoor HVAC units shall be screened from view including roof-mounted units.
- D. A noise reducing barrier shall be provided for all HVAC units that exceed 50dB(A) at the closest property line. Vegetation can be used to screen but is not considered an acceptable noise barrier.
- E. Utility meters shall be placed so that they are not visible from the sidewalk whenever feasible. Utility meters should be grouped when possible.
- F. Satellite dishes, micro-turbines, and other utility features should be placed away from the street whenever feasible.

17.22.070 Lighting

- A. General
 1. Lighting trespass that spills over onto neighboring residential properties or causes glare on adjacent streets is prohibited. The maximum illumination level at the property line abutting residential properties shall not exceed 0.1 foot candles.
 2. Lighting design should include the installation of timers, photo sensors, and other energy saving devices.
- B. Facade Lighting
 1. Facade mounted lighting fixtures that wash the face of the building are encouraged. Shielded, full cut-off fixtures shall be used with illumination not exceeding 5.0 foot candles. Up lights should be avoided but can be used discretely if necessary.
- C. Yard Lighting
 1. Low level (bollards or recessed) lighting fixtures shall be installed for interior walkways. Pole mounted lights may provide additional lighting as necessary.
- D. Parking Lighting
 1. Parking area and walkways must be lit. Commercial properties that are adjacent to residential areas shall reduce the lighting in their parking lots to an average of 0.2 foot candles one hour after closing. Light trespass standards also apply.

17.22.080 Parking Requirements

See parking standards contained in BMC Sec. 17.124.

17.22.090 Setbacks and Height

- A. CB – Market, Town Portal and Waterview.

1. Front Yard Setback. Buildings shall abut the front property line except that the building may be set back from the sidewalk up to 10 feet to facilitate active pedestrian use when:

a. The setback area is designed and used for pedestrian-oriented space. It can be an extension of the adjacent ground floor use (such as tables for a restaurant, an outdoor display area for goods for sale inside the building), used by private vendors (with owner's permission) or for related public purposes.

b. Vehicle parking, loading or related vehicular use is not allowed within the setback area.

2. Side Yard Setback. Buildings may abut side yard property lines (zero-foot setback).

3. Rear Yard Setback. Buildings may abut rear yard property lines (zero-foot setback).

B. CB – Garden District.

1. Front Yard Setback. Setbacks may be variable, provided the average setback is at least 10 feet.

2. Side Yard Setbacks. Five feet, except that where a lot abuts a residential district with no intervening street or alley, a 10-foot setback is required.

3. Rear Yard Setbacks. Ten feet, except where a lot abuts a residential district with no intervening street or alley, a 20-foot rear yard setback is required.

C. Height Limit. Height for all sub-districts regulated by this chapter is as per the naming of the sub-district, such that "Central Business Garden-36" shall have a 36-foot maximum height.

17.22.300 Definitions

The definitions contained in Section 17.22.300 pertain only to Section 17.22.

17.22.300.A Architectural Elements

Architectural elements refers to building features that add detail and finely scaled variations to a building facade, such as belt courses, braces, brackets, brick coursing, pilasters, columns, corbelled brick, cornices, moldings, window openings, piers, plinths, and sills.

17.22.300.B Articulation, Vertical or Vertical Articulation

Vertical articulation applies to architectural elements that emphasize an upright appearance. The width of vertical articulations is measured from the center point of architectural elements or across the full extent of surface areas. The depth of vertical articulation elements is measured using the perpendicular distance from the structural face of the building to the furthest projection. A building's verticality can be emphasized with the help of the following:

- Change in the building plane.
- Columns, pilasters, change in material, or other vertical treatments.
- Proportion and size of windows.
- Projections.

17.22.300.C Articulation, Horizontal or Horizontal Articulation

Horizontal articulation refers to the use of architectural elements that emphasize a level appearance. Horizontal articulation is measured from the average elevation of the front façade to the top of an architectural element. Its depth is measured as the perpendicular distance from the structural face of the

building to the furthest tip of the element. A building's horizontality can be emphasized with the help of the following:

- Beams, exterior wainscoting, belt courses, bandings, knee wall panels or contrasting width veneer for building plinths or other horizontal treatments that either project or are flush with the wall's surface.
- Change in the building wall such that upper floors are recessed.
- Conspicuous eaves of a pitched roof, parapet, or cornice.

17.22.300.D Boardwalk

A boardwalk is a connected and continuous pedestrian path that provides unobstructed view of the Bay. It may be constructed as a decking or as the roof of a fully or partially enclosed structure below.

17.22.300.E Building Coverage

Building coverage (See Building Area, 17.142.095) does not include open to sky or partially enclosed spaces such as stoops, staircases, balconies, porches, and arcades but includes jetties.

17.22.300.F Building Height

Building height is measured as the distance from the average adjacent sidewalk elevation to the highest point of the structure excluding elements, such as chimneys, utility elements and decorative elements, or temporary occupied elements, such as cupolas and towers.

17.22.300.G Building Width

Building width measures the perpendicular distance between the farthest faces of the two side facades. Restricting this ensures natural lighting and ventilation in interior buildings. It does not include open to sky or partially enclosed spaces such as stoops, staircases, or balconies. Porches and arcades are included in the measure of building width.

17.22.300.H Building Frontage

Building frontage measures the building that abuts the front property line or front setback in lineal feet. It does not include open to sky or partially enclosed spaces such as stoops, staircases, or balconies. Porches and arcades are included in the measure of building frontage.

17.22.300.I Eave

Eave is the bottom edge of a roof and normally projects beyond the side of the building forming an overhang to throw water clear of the walls.

17.22.300.J Facade

Facade means the structural wall or the face of the building from the finished grade at the point of contact with the building to the top of the parapet or eaves and the entire width of the building elevation. Towers, cupolas, parapets, pitched roofs, trusses, poles, chimneys, or mechanical features shall not be counted towards the facade area, while the area behind other architectural features, such as bay or bow windows, balconies, awnings or porches or artistic (ornamental) treatments, will be counted towards the façade area.

17.22.300.K Floor, Ground or Ground Floor

Ground floor means the base level of a building accessible from public walkways or sidewalks that is typically at or within 3 feet of adjacent sidewalk grade level.

17.22.300.L Floor Height

Floor height is the distance within each story from the floor surface or the top of rafters of the level above. For buildings with varying floor heights within the same floor, the averaged height will constitute the height for that floor.

17.22.300.M Front Lot Line

Front lot line for corner lots means the boundary of the lot abutting Peace Portal Drive or H Street. On other lots, it is preferred that both sides are considered the front lot line. If not feasible, then the lot line adjoining east-west streets will be considered the front lot line.

17.22.300.N Jetty

Jetty is the upper story of a building's structure that juts out beyond the level below.

17.22.300.O Modulation

Modulation means to create variety in the surface of an exterior wall through elements such as openings, a change in setback or height, and/or a change in materials and texture along with color. (See Architectural Elements.)

17.22.300.P Occupancy Type

Occupancy type refers to the International Building Code's categorization of indoor uses primarily for the purposes of building and fire code enforcement.

17.22.300.Q Outdoor Service and Storage Areas

Outdoor service and storage areas are used for placing mechanical equipment, outdoor storage, or trash/recycling containers.

17.22.300.R Parking Below Grade

Parking below grade describes any portion of a structure containing parking that is located fully or partially below finished grade along a building's front lot line.

17.22.300.S Parking Garage

Parking garage is a structure that is built to provide the parking of vehicles above or below ground. A parking garage is considered a commercial use if it provides paid parking, has parking spaces for over ten vehicles, and is commercially viable. This is not the same as a garage used to park a car or truck (equal to or less than 10,000 GTW) for single family residential uses. (See Structured Parking.)

17.22.300.T Parking Lot

Parking lot is a cleared surface that is dedicated to parking vehicles and is recognized as an independent use. Usually, the term refers to an area that has been provided with a durable or semi-durable surface and can be operated pro bono or for a fee by a private property owner, a public agency, or a management company on contract.

17.22.300.T Parking, Structured or Structured Parking

Parking, structured or structured parking is parking that is contained in an enclosed building either on its own or is a portion of a building that has uses other than the storage of cars. (See Parking Garage.)

17.22.300.U Parking, Surface

Parking, surface is parking within an unenclosed space on the ground level of a property.

17.22.300.V Parking, Under Building

Parking, under building or under building parking is parking that is enclosed or partially enclosed in one or more floors below grade and contains usable floor area above the parking that is served by the parking levels.

17.22.300.W Pitched Roof

Pitched roof has a slope more than 3:12.

17.22.300.X Projection

Projection refers to a structural element that is associated with a building's openings and protrudes from the wall. Examples of projections are as follows:

- 1 Arcade

A colonnade supporting a roof structure or an upper level habitable space parallel to a ground floor façade. Where provided, arcades must ensure adequate light, air, and visibility through to ground floor windows and building entries from the street.

2 Awning

A covering attached to the exterior wall of a building composed of material extended over a light structure. It provides shelter from the sun, rain, or wind. Awnings have a minimum depth of 12". The surface material can be made of fabric, metal (steel and aluminum), wood, acrylic, vinyl, fiberglass, or glass. The structure can be of wood or metal.

3 Balcony

A platform projecting from the wall of a building, supported console brackets, and enclosed with a railing or a half wall.

4 Bay Window

A window space projecting outward from the main walls of a building and forming a bay in a room, either square or polygonal in plan. Bay windows increase the flow of natural light into a building, as well as provide views of the outside that would be unavailable with an ordinary window.

5 Porch

A roofed space open along two or more sides serving to shelter an entrance and provide a private outdoor space to a residence.

6 Stoop

An exterior stair or landing provided from the street front to an elevated first story. The elevated first story with the stairs or landing help secure privacy for ground floor residents.

17.22.300.Y Public

Public means government-owned or dedicated property, buildings, or areas open to all persons by design or intent.

17.22.300.Z Public View

Public view means areas that are visible from adjacent public streets, pedestrian walkways, plazas, or other gathering areas, excluding alleys that are open to all persons by design or intent.

17.22.300.AA Right-of-Way

Right-of-way (See BMC 17.142.485).

17.22.300.BB Setback

Setback measures the linear distance between the property line and foundation wall or pier as measured perpendicular to the property line. For upper floors, the measurement is to the plane nearest the property line.

17.22.300.CC Sidewalk

Sidewalk is the part of the right-of-way that is not in the roadway and is used for pedestrian movement and landscape.

17.22.300.DD Sidewalk Level

Sidewalk level is the average elevation of the sidewalk along a front property line. Street level only applies where there is no adjacent sidewalk.

17.22.300.EE Sill Level

Sill level is the height of the top of the windowsill (below the window molding) from the interior finished floor.

17.22.300.FF Slope

Slope is the ratio of the vertical rise over a horizontal distance.

17.22.300.GG Stored Items

Items that are not intrinsic to the use of a balcony and do not enhance the appearance of the balcony space. These do not include patio furniture, decorative items, planters, and movable vertical laundry racks.

17.22.300.HH Story

Story means that portion of a building included between the surface of any floor and the surface of the floor immediately above it. If there is no floor above it, then the space between the floor and the top of the rafters immediately above it is considered a story. If the finished floor level directly above the basement or cellar is more than 4 feet above mean ground level and the space clears 7 feet in height, the basement or cellar is considered a story.

17.22.300.II Stories, Middle or Middle Story(s)

Middle stories means any intervening building floors between the ground floor and the top floor of the building.

17.22.300.JJ Top, Building or Building Top

Building top means a building's ridgeline or the tip of cupolas for a sloped roof and the highest point of a parapet for a flat roof. Appurtenances such as trusses, poles, chimneys, or mechanical features are not included in a building top.

17.22.300.KK Transparency

Transparency is a measure of the area of the wall that allows one to see through the building from the inside out and vice versa. Window area (including the area within the trim) and the full surface area of doors with more than 30% glazing are counted towards a façade's transparency.

17.22.300.LL Use (See Occupancy Type).

17.22.300.MM Permitted Use

Permitted uses are allowed by-right through administrative review.

17.22.300.NN Conditional Use

Conditional uses are not allowed by-right and are subject to Planning Commission review.

17.22.300.OO Prohibited Use

Prohibited uses cannot be approved-by-right or through conditional review.

17.22.300.PP Walkways, Onsite or Onsite Walkways

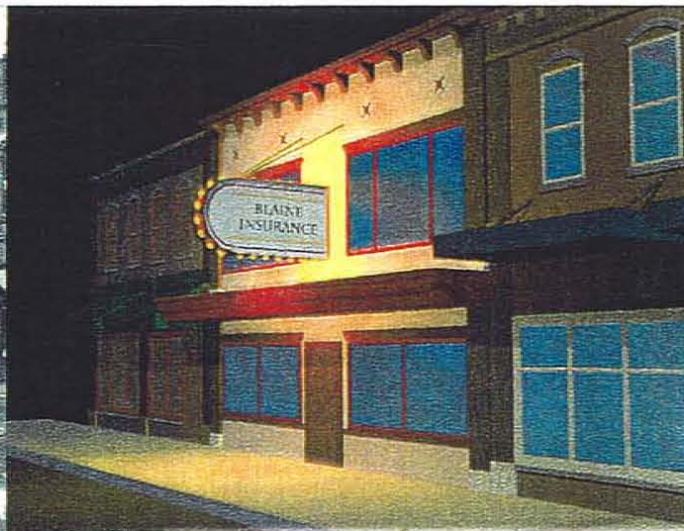
Onsite walkways are internal paths between structures within a property. They may be paved, pervious, or natural.

17.22.300.QQ Yard

Yard refers to the grounds between a primary structure and its adjacent property line and extends the full width or depth of the property. The depth of a yard is measured at right angles to the lot line from the exterior wall segment closest to the lot line. The location of the yard within a property identifies it as a front, side, interior, or rear yard.
side, interior, or rear yard.

Blaine Design Guidelines and Sign Ordinance Supplement

REVISED 2018



MAKERS
architecture + urban design

GUIDELINES FOR BLAINE HARBOR

(ADAPTED FROM THE BLAINE HARBOR COMPREHENSIVE IMPROVEMENT PLAN, APRIL 1998)

INTRODUCTION

The following design guidelines are based on the original, turn-of-the-century architecture of downtown Blaine and Blaine Harbor and promote complementary design in the two regions. It is recommended that existing historic structures on the harbor be sensitively conserved and renovated. A contemporary interpretation of historic building forms should be used for new construction on the harbor.

INTENT

- ◆ Promote a complementary design image in the Blaine Harbor and downtown Blaine regions.
- ◆ Use historic building styles to inspire guideline regulations.

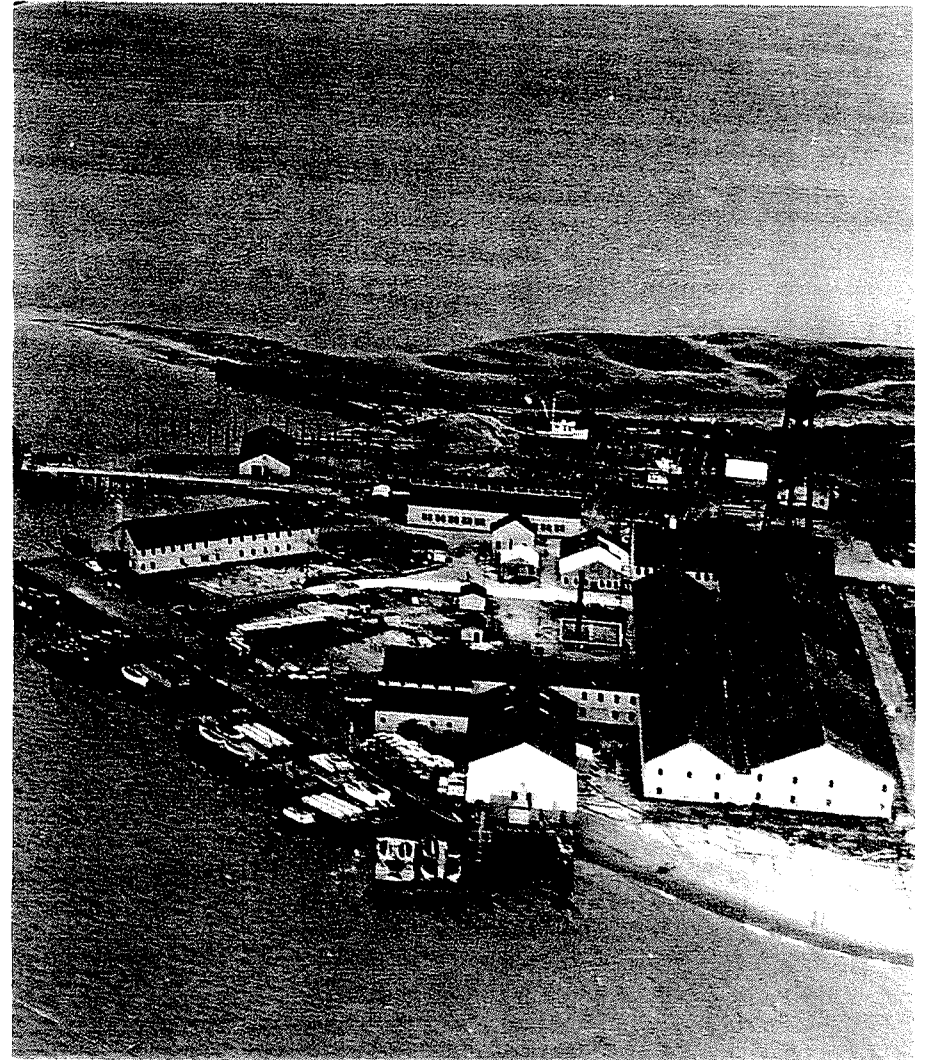


Figure 28. Historic Architectural Illustration

BUILDING ELEMENTS

A. Roofs

REGULATIONS:

(Derived from historical prototypes)

1. Roof forms for the various building types **shall** be as follows:
 - *Industrial.* Gabled roof with metal standing seam roof. The recommended minimum roof slope is 3 in 12.
 - *Commercial.* Gabled roof with a metal standing seam or composition shingle (heavyweight Class A) roof. The recommended minimum slope is 3 in 12.
 - *Recreational.* (1) Gabled metal roof with standing seam, or (2) hipped metal roof with standing seam, as approved for special structures. The recommended minimum slope is 3 or 4 in 12.
2. Mansard roofs **are prohibited**.
3. Flat, built-up roofs **are discouraged** and allowed only after review and approval by the Planning Commission.
4. Metal roofs **should** be blue; composition roofs **should** be dark gray.



Metal Roof Color



Composition Roof Color

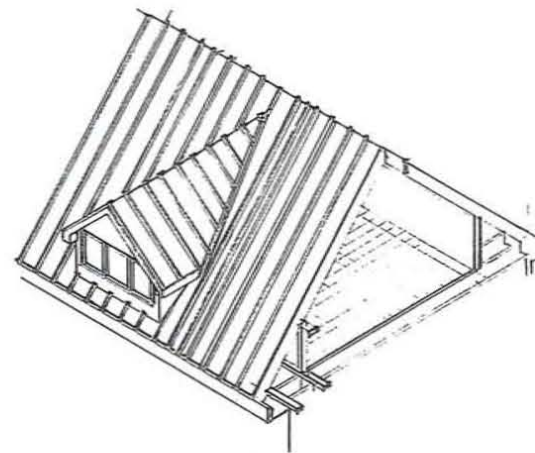
Figure 29. Roof and Color Recommendations

B. Encouraged Roof Features

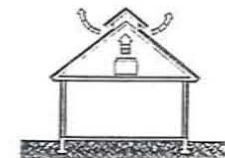
REGULATIONS:

(Based on features found on the harbor's original industrial and support buildings)

1. Gabled dormers **should** be used to lend variety to a gabled roof type and to provide additional usable area in the buildings' attic spaces.
2. Vents and louvers **shall** be one of the following types:
 - Gabled roof ridge vents.
 - Turbine louvers on industrial buildings.
 - Gabled end vents at the point of the gable.
3. Significant eave overhangs are recommended for all roofs on recreational and commercial structures. The recommended minimum overhang **should** be between 15 to 18 inches.



Attic Dormer



Concealed Mechanical

Figure B-55



Mechanical Dormer

Figure 30. Preferred Roof Features

C. Exterior Walls and Enclosures

REGULATIONS:

1. For industrial buildings, the use of painted wood siding **is encouraged** when practical. Prefinished metal panel siding is acceptable.
2. Commercial and Recreational buildings **shall** be one of the following:
 - *Painted Wood.* Bevel siding or board-and-batten pattern.
 - *Prefinished Metal Siding.* Bevel or board-and-batten pattern.
3. Concrete unit masonry with a split face or ground face block **shall** be used for smaller support buildings, pump stations, public restrooms, etc., with floor areas of less than 1500 SF. Banded masonry patterns **are encouraged**.

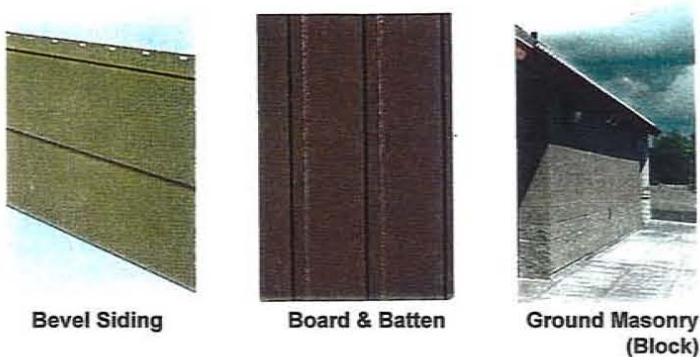


Figure 31. Exterior Wall Types

D. Building Color

REGULATIONS:

1. Industrial structures **should** be medium gray with white, deep red, or deep forest green trim.
2. Commercial structures **should** be medium gray with white trim.
3. Recreational structures **should** be either:
 - Medium gray with white trim
 - Natural stain with dark gray trim



Figure 32. Building Color and Trim Options

E. Windows and Window Openings

REGULATIONS:

1. Industrial buildings **shall** have standard industrial windows with metal frames.
2. Commercial and recreational buildings **shall** have wood, vinyl or vinyl-clad wood windows that are either double-hinged, casement, or awning style. Projected and bay windows are also acceptable options. Steel or aluminum window sashes are allowed; however, the Planning Commission must approve the color and shape of the sash for its compatibility with the turn-of-the-century theme.

SITE ELEMENTS

F. Walkways

REGULATIONS:

1. Sidewalks at street edge **shall** be broom-finished concrete with a standard 5'-0" screed pattern.
2. Interpretive pathways and informal walkways **should** be asphalt.
3. Special paving areas, accent paving, and plazas **should** be interlocking modular concrete pavers in a light brick red color.



Figure 33. Special Paving Recommendation

G. Street Lighting

REGULATIONS:

1. A metal light standard, with a historic motif similar to those used in downtown Blaine **shall** be used. Two-globe lights **shall** be used at intersections and single-globe lights at mid-block.
 - Color: green with an antique finish (similar to Sternberg Fixtures "verde green")
 - Light type: metal halide
2. For boardwalks and shoreline edge walkways, a simple single-globe historic fixture similar in design to the fixture used for street lighting **shall** be used.
 - Color: green with an antique finish (similar to Sternberg Fixtures "verde green")
 - Light type: metal halide
3. Metal bollard fixtures with integral lighting **should** be used to light informal pathways. Special attention **should** be given to ensure vandal resistance in the bollard's design. Integral post-mounted lights are also options to light pier and boardwalk areas.
 - Color: green with an antique finish (similar to Sternberg Fixtures "verde green")

H. Site Furniture and Fixtures

REGULATIONS:

1. Clearance bollards and special separation or vehicular delineation bollards **shall** be concrete-filled steel pipe, either embedded in concrete or with a built-down base.
 - Color: green with an antique finish (similar to Sternberg Fixtures “verde green”), or clearance yellow, depending on location or use.
2. Benches and sitting areas **shall** be provided using heavy-duty wood benches and concrete or heavy timber supports to promote durability. Simplicity of design and durability are desired characteristics.
3. Many of the original handrails at Blaine Harbor included wood designs. Wood and metal mesh panel railings **should** be used on boardwalks, walkways, and piers. Handrails on brow ramps, bridges, building stairs, etc., **should** be galvanized metal pipe.
4. Trash receptacles similar to the standard selected by the City of Blaine for use in the park and downtown areas **should** be used.

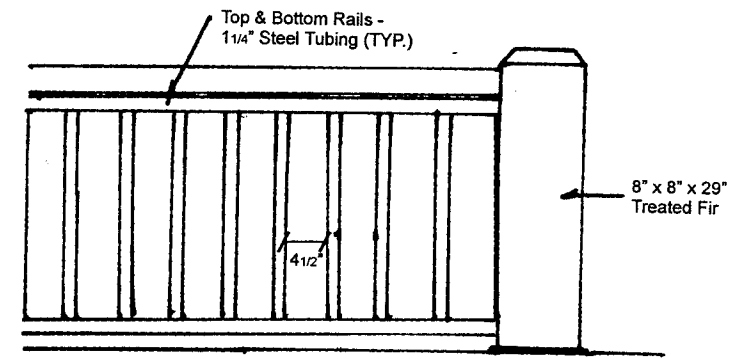


Figure 34. Hand Rail Detail, Courtesy of the Port of Bellingham

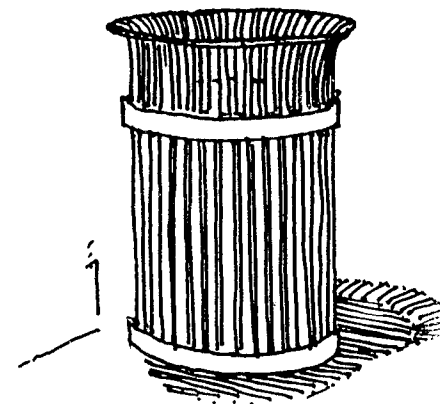


Figure 35. Trash Receptacle

I. Landscape Plantings

REGULATIONS:

1. On vehicular streets/Marine Drive, median and street edges **shall** be landscaped with deciduous trees with a round branching pattern to improve visual streetscape and allow views under the tree canopy. Trees **shall** be planted at regular 30' (min) to 45' (max) intervals.
2. Low-maintenance ground covers **shall** be used at street edges and medians. All planting areas **shall** provide 75% coverage within 2 years and 50% at the time of planting. (Lawns are not recommended.)
3. The visual impact of parking lots **shall** be mitigated using trees and ground coverings per the Landscaping regulations in the Blaine Municipal Code. Refer to the municipal code for specific guidelines impacting parking area landscaping.
4. Pedestrian pathways at the water's edge **shall** be planted with shrubs. At the parking lot and near the water's edge, shrubs and low, leafed plants **shall** be planted.
5. At natural pathways and natural system interpretive areas, the retention and replacement of all native plant types and materials **is required**.
6. Landscaping **shall** be maintained in a healthy growing condition. Dead or dying plants **shall** be replaced immediately, and the planting area **shall** be planted and kept clear of weeds.

Note:

Landscape maintenance is subject to the regulations in Section 17.60.080 of the Blaine Municipal Code.

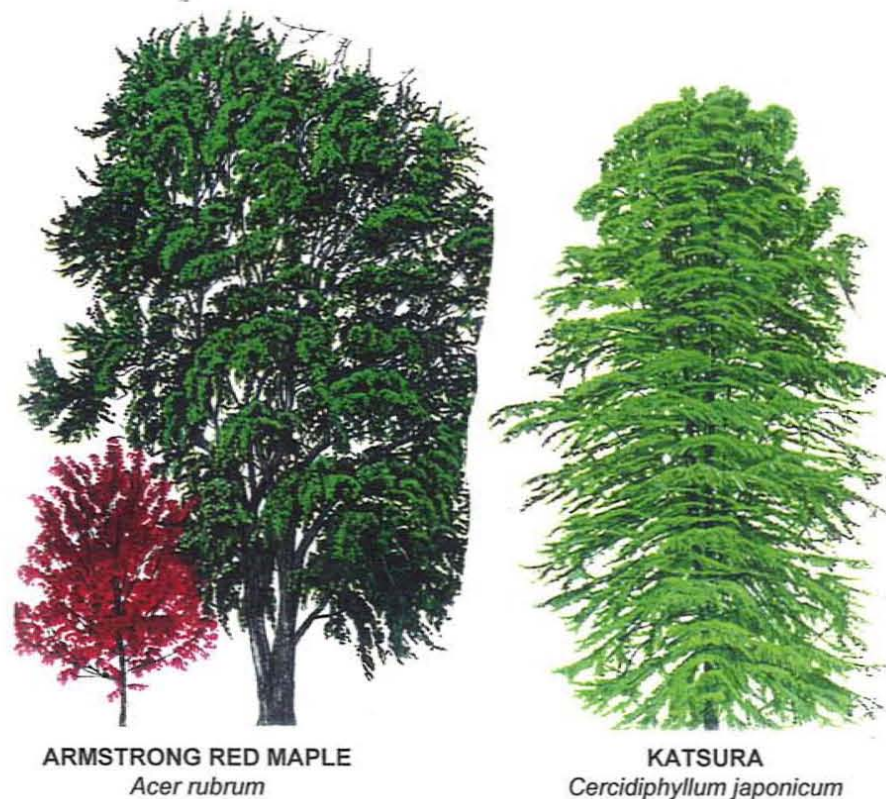


Figure 36. Street Tree Recommendations

ORDINANCE NO. 18-2912

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BLAINE, WASHINGTON, ADOPTING NEW BMC CHAPTER 17.22 - CENTRAL BUSINESS DISTRICT, AND REPEALING SECTIONS OF THE BLAINE DESIGN GUIDELINES AND SIGN ORDINANCE SUPPLEMENT.

WHEREAS, the proposed amendments are consistent with RCW 58.17.110 by promoting orderly development, public health, safety, and general welfare; and

WHEREAS, the City of Blaine Comprehensive Plan includes numerous goals and policies to support the growth and revitalization on the Downtown core in way that support community residents, businesses, property owners and visitors; and

WHEREAS, the Community Development Services Department held a series of community engagement meetings in May and June of 2011 exploring issues regarding downtown development and alternatives to address the challenges faced; and

WHEREAS, the City Council and Planning Commission held a joint study session on January 6, 2014, and identified downtown redevelopment and revisions to the downtown development code to be a priority issue for the City; and

WHEREAS, the City Council adopted Resolution 1613-12 on November 13, 2012, initiating code amendments regarding residential uses, building height and major development review; and

WHEREAS, the SEPA Official issued a Determination of Non-Significance on August 1, 2014; and

WHEREAS, the Planning Commission held a public hearing on August 14, 2014, through August 28, 2014, to receive input on the proposed land use code and zoning map amendments, and held a subsequent hearing on March 22, 2018, through April 12, 2018, to receive input on the proposed code amendments and design standards; and

WHEREAS, the Planning Commission held numerous study sessions to review proposals and to advise staff to modify the amendments to best suit the goals of the City Comprehensive Plan; and

WHEREAS, on April 26, 2018, the Planning Commission conducted a public meeting to discuss the proposed amendments and design standards, and on that same evening and after deliberating and considering the recommendations of staff and carefully reviewing all information in the public record, the Planning Commission voted to recommend approval of the proposed code amendment; and

WHEREAS, On June 11, 2018, the City Council held a public meeting to further review and discuss the record and, subsequently, voted to approve the proposed amendments.

NOW, THEREFORE, The City Council of the City of Blaine, Washington, does ordain as follows:

SECTION 1:

The Blaine Municipal Code is hereby amended as stipulated in Exhibit A – Zoning Text Amendments.

SECTION 2: Applicability. The revisions contained herein shall apply to future land use applications.

SECTION 3: Severability. If any section, subsection, clause or phrase of this ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this Ordinance.

SECTION 4: Effective Date. This Ordinance shall take effect and be in force from and after its passage by the City Council and approval by the Mayor, if approved, otherwise, as provided by law and five days after the date of posting for publication.

PASSED BY THE CITY COUNCIL OF THE CITY OF BLAINE, WASHINGTON, on the 11th day of June, 2018, and approved by the Mayor.

CITY OF BLAINE, WASHINGTON

Bonnie Onyon, Mayor

ATTESTED:

Samuel Crawford, City Clerk

Exhibit A – Zoning Text Amendment

Note to Code Editor: Former BMC Chapter 17.22 is repealed.

Note to City Clerk: Text to be inserted from RFCA Attachment I